



## **ARC Application, Community Standards & Private Boat Dock Standards**

An exterior modification to your home or lot requires approval by the Architectural Review Committee (ARC). The ARC application form must be completed along with the required documentation and fees/deposits listed below for submission for review by the Architectural Review Committee. Incomplete applications are not accepted. Please refer to the Community Standards in the following pages for specific project requirements. **\*\* Photos of documents are not accepted.**

All ARC Applications require a \$35 application fee. Various ARC projects require a refundable deposit and/or non-refundable fee. All after-market boat dock applications require a \$5000 non-refundable boat dock fee payable to the HOA. Please refer to page 1 of the application for applicable deposit amounts. Complete application packages received prior to the close of business day on Tuesdays will be submitted to the Committee for review the same Friday. Complete applications received after the close of business day on Tuesday will be submitted to the Committee for review the following Friday.

**Applications must be complete and contain all requirements at time of submission to ensure timely processing of your ARC Modification Request. Incomplete applications are not be accepted and will be returned.**

**Please note:** The Esplanade Lake Club Governing Documents provide the Architectural Review Committee up to 45 days to render a determination from the date a complete application is received.

### **Deliver Complete ARC Application Package & Payments to:**

The Community Association Manager at the Amenity Center or mail to:  
Esplanade Lake Club HOA, Attn: CAM, 11501 Canal Grande Dr, Fort Myers, FL 33913

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### **Requirements for application submission and review:**

- I. Completed & Signed ARC Application.
- II. **Contract/proposal** or estimate from all contractors working on exterior modification projects. Contract to must include materials to be used and colors stated in contract and a color picture of materials, measurements & scope of project details.
- III. Irrigation capping & re-landscaping plan proposal/agreement, license and insurance from the vendor.
- IV. **For ALL projects - A Rendering/drawing of each project and/or re-landscaping plan** must be placed on a copy of the final survey of your lot. One project rendering/drawing per survey. The final survey cannot be altered nor cropped in any way for submission other than to add the details of the project. This final survey was provided to you by the title company and included in your closing documents.  
The survey drawing must include measurements, distances to structure and property lines, plant varieties/quantities & placement. **Final Survey (copy) rendering must show all requested structural and site modifications and must be drawn on the Final Survey in an appropriate scale which includes the dimensions of any structure, the distance from easements and property lines.**
- V. Contractors Business License for contractors for all contractors. **\*\*License must be current.**
- VI. Contractors Insurance for contractors for all contractors. **\*\*\* All Insurances on the COI must be current and Certificate Holder Box must show Esplanade Lake Club HOA, 11501 Canal Grande Drive, Fort Myers, FL 33913, as the Certificate Holder \*\*\***
- VII. \$35 - application fee.
- VIII. **Refundable security deposit if applicable (See application form for project deposit requirement and next page for instructions on how to receive your security deposit back after project completion).**
- IX. \$5000 Boat Dock Fee to the association if applicable (See application form on pages 3 & 4).
- X. 4 Pictures - Pictures can be emailed to Community Association Manager. Please include Address & ARC Project type in the email subject line. **Pic 1.** Whole gutter curb at frontage of the entire lot, **Pic 2.** down the whole right & **Pic 3.** left side of home, **Pic 4.** rear yard including entire lake bank, swale and berm or preserve, whichever is applicable.



## **Security Deposit Refund**

For security deposit refund, a resurvey of the modification project with the project added to the resurvey by the surveying company must be submitted by email to management with the request for HOA inspection. Upon receipt of resurvey, management will schedule an inspection of the project to ensure compliance to ARC approval.

ARC Security Deposit refunds are sent USPS mail from our corporate office to the project property address unless otherwise requested by homeowner in writing to management/CAM.

**If Taylor Morrison was your builder**, your original final survey that you received at your closing was provided by **Rhodes & Rhodes Surveyors**. For your convenience I have provided their information for you to contact them for your resurvey.

Rhodes & Rhodes, 28100 Bonita Beach Road, Suite 107, Bonita Springs, FL 34135. (239)405-8166.

**If Pulte was your builder**, your original final survey that you received at your closing was provided by **Barraco & Associates**. For your convenience I have provided their contact information for you to contact them for your resurvey.

Barraco & Associates, 2271 McGregor Blvd, Fort Myers, FL 33901. (239) 461-3170.

**\*\*It is more cost effective to use the original surveying company that completed your original final survey for your closing as they will have your original survey on file and you will need only to add the addition of your ARC project to the resurvey you request. This will allow you to avoid the cost of an entirely new survey.**

**Complete ARC Applications, application fee & applicable deposits may be submitted by delivery to the HOA Administration office or mailed to the HOA Administration office:**

Esplanade Lake Club  
Attn: Community Association Manager  
11501 Canal Grande Drive  
Fort Myers, FL 33913

**Checks for fees & deposits are made payable to: Esplanade Lake Club HOA.**

For questions/inquiries regarding requirements for submission and/or the submission process, please contact your Community Association Manager, Alexis Perez.

Email: [Alexis.Perez@TeamEsplanade.com](mailto:Alexis.Perez@TeamEsplanade.com).

Thank you.

Your Community Association Management Team

**ALTERATION APPLICATION**  
Esplanade Lake Club Homeowners Association, Inc.

OWNER(S) NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

PHONE: \_\_\_\_\_ ADDRESS: \_\_\_\_\_ LOT #: \_\_\_\_\_

EMAIL: \_\_\_\_\_

**Circle Type of Home**    Single Family                  Twin Villa                  Townhome

- You are responsible for obtaining any necessary permits from the appropriate Building Department(s).
- Access to areas of construction is only allowed through your property and you are responsible for any damages done to the common areas during construction.
- Deposits are required for any modification that has potential to impact site drainage, elevation or grade. Deposit amount will vary, based upon improvement, but will not exceed the amount set forth in the Declaration of Covenants, Conditions and Restrictions and Easements for the association.

**ALTERATIONS THAT REQUIRE A DEPOSIT FOR SUBMISSION & RE-SURVEY TO BE PERFORMED AFTER COMPLETION:**

Approval is hereby requested for the following modification(s), addition(s), and/or alterations as described below and on attached pages. (Check all that apply)

*Modifications below require a \$5000.00 deposit to be held until Re-Survey of lot received and grade of lot confirmed as restored to initial grade*

☐ Pool

*Modifications below require a \$2,000.00 Deposit to be held until Re-Survey of lot received and grade of lot confirmed as restored to initial grade.*

☐ Exterior Addition/Modification    ☐ Landscape Expansion/Additional beds    ☐ Patio Extension/Addition  
☐ Private Boat Dock

*Modifications below require a \$500.00 deposit to be held until Re-Survey of lot is received and grade of lot confirmed as restored to initial grade.*

☐ Driveway Extension (Elbow Bump out & Hammerhead)    ☐ Gutters    ☐ Wall/Fence  
☐ Shade Tree Replacement    ☐ Other (list below): \_\_\_\_\_

*NOTE: If the above improvement has potential to impact the existing grade of the lot a new survey will be required after completion.)*

**ALTERATIONS THAT DO NOT REQUIRE A RE-SURVEY TO BE PERFORMED AFTER COMPLETION:**

Approval is hereby requested for the following modification(s), addition(s), and/or alterations as described below and on attached pages. (Check all that apply)

☐ Doors New    ☐ Driveway Ext (Parallel side extension)    ☐ Generator    ☐ Hurricane Shutters  
☐ Landscape Art (Beds Only)    ☐ Paint exterior    ☐ Roof Repair    ☐ Satellite Dish  
☐ Screen in existing Lanai    ☐ Solar Collector    ☐ Water Softener    ☐ Outdoor Kitchen (contained in existing lanai)

PLEASE PROVIDE ANY ADDITIONAL DETAILS FOR THE TYPE OF ALTERATION AND THE TYPE OF MATERIALS TO BE USED OR INFORMATION REGARDING THE IMPROVEMENT:

THIS SECTION MUST BE COMPLETED

- ☐ The work will be performed by a contractor. (Please provide a copy of their license and proof of insurance.)
- ☐ The work will be performed by a homeowner. (Please read and initial statement below.)

\_\_\_\_\_(Applicant initials) *The applicant a/k/a the homeowner holds the association and its management agent harmless in the event that the applicant plans on initiating and performing the improvements themselves.*

The Architectural Review Committee shall have no liability or obligation to determine whether such improvement, alteration and addition comply with any applicable law, rule, regulation, code or ordinance. IT IS UNDERSTOOD AND AGREED THAT THE **ESPLANADE LAKE CLUB HOA, INC. AND TROON MANAGEMENT COMPANY, 11691 Gateway Blvd. Suite 203, Fort Myers, FL 33913, ET AL**, ARE NOT REQUIRED TO TAKE ANY ACTION TO REPAIR, REPLACE OR MAINTAIN ANY SUCH APPROVED CHANGE, ALTERATION OR ADDITION, OR ANY STRUCTURE OR ANY OTHER PROPERTY. THE HOMEOWNER AND ITS’ ASSIGNS, ASSUMES ALL RESPONSIBILITY AND COST FOR ANY ADDITION OF CHANGE AND ITS FUTURE UPKEEPAND MAINTENANCE.

**ARC APPLICATION SUBMISSION INSTRUCTIONS:**

Please refer to the **Application Process** pages 1 and 2 of the ARC Application Package and the **Community Standards** for specifications of modification (i.e.. size, color, type of material), requirements and all documentation required to ensure your application is complete prior to submittal. All private boat docks require a non-refundable \$5000.00 Boat Dock Fee payable to the Esplanade Lake Club HOA for application submission.

**All ARC applications require a \$35.00 application fee payable to Esplanade Lake Club HOA. Separate checks are required or any exterior modifications that require a refundable Deposit &/or additional fees. Application deposits and fees are due at time of submittal for review.**

Owner Signature \_\_\_\_\_ Owner Signature \_\_\_\_\_

For ARC/Management USE ONLY

Management Signature: \_\_\_\_\_ Review Date: \_\_\_\_\_

Notes: \_\_\_\_\_



# Esplanade Lake Club Homeowners Association

## Community Standards

**Community Standards:** The Community Standards reflect the overall community design, Neighborhood Architectural style and existing Standard Color Packages that are in place during the construction of the homes within the Neighborhoods of the community. Adherence to Community Standards ensures Esplanade retains the character as designed. The Community Standard applies to the entire house paint package (exterior, doors, house trim, gutters) stone type and designated stone surface areas, window type and color, soffit colors, screen enclosures, pavers and overall architectural design.

### Lot Conditions and Modifications

All improvements/modifications to your lot or home shall not modify, obstruct or impede the flow of the drainage or divert it away from your Lot or otherwise alter the flow of that drainage in any manner that will have any effect on neighboring lots or common areas and must be restored to original drainage design. Please refer to the governing documents of Esplanade Lake Club for all drainage restrictions. Modification of drainage on any lot can impact the drainage as designed and approved by the Water Management Districts which are the governing entities regulating the compliance to the approved drainage plan in our community. To ensure the elevation and grade is restored to the original site elevations as recorded on the final survey at time of Certificate of Occupancy (CO) a new survey is required to be performed after the modification is completed showing the finish grades of the lot. Modifications to the lot have potential to impact the existing grade and a new survey of the lot is required for, but not limited to, the following improvements: Any ancillary structures, room additions, patios, pools, screen cage, fences, downspout drains, expanded or raised landscape beds, landscape bed edgers, retaining wall or curb, irrigation modification, front sidewalks and driveway additions.

### Irrigation System

All modifications to the *Esplanade* Neighborhood lots which involve modifications to the irrigation on landscape maintained by the association, must note on the application that the owner has verified that the request for modification has been reviewed and that any impact to the irrigation system will be properly and professionally repaired to ensure proper irrigation determined by the association's representative.

### Structural and Landscape changes

An original Final Survey (copy) is required showing all requested structural and site modifications and must be drawn on the Final Survey in an appropriate scale which includes the dimensions of any structure, the distance from easements and property lines. (ie: room addition, enlarged landscape beds, fences, pools, screened cages, pool equipment, patios, gutters, etc.)

**Address Plaques:** House numbers are required by code and may not be removed or altered from the existing type. No additional embellishments or names or wording is permitted.

**Coach Lights and Post Lights:** There are Community Standard coach lights on the home and a Post Light at all homes. Modifications are limited to the Coach Lights currently offered in the design center and the Post Light currently installed at close or those previously offered in the Community Standards package for your Neighborhood or phase of the community.

**Basketball Hoops:** No permanent in ground or roof mounted basketball hoops are permitted. Portable Basketball hoops are permitted with ARC approval, but must be stored from view nightly or when not in use and are not permitted in the street at anytime.

**Flags:** Approvals are required for flags. Owners may display one 41/2 feet by 6 feet portable, removable United States flag, and one 41/2 feet by 6 feet portable official flag that represents the United States Army, Navy, Air Force, Marine Corps or Coast Guard or a POW-MIA flag. Freestanding flag poles may be no more than 20 feet high and located only in landscape beds if the landscape is maintained by the association, are not permitted to be erected in an easement, and follow any restrictions for display as outlined in the Declaration of your association.

Entryway Screening is not permitted.

**Extended Driveways:** Two car garage driveways may be extended the width of the driveway to the outer edge of the

existing garage on either one or both sides of the current driveway. The extension must run lengthwise from the any existing sidewalk to street curb. Any landscaped area between the front of the garage and the entryway sidewalk must be retained. Increased paved areas impacting the overall lot or neighboring lots site drainage is not permitted. Twin Villas may not have extended driveways. See Exhibit C for diagrams of extended driveway.

**Fences:** No above ground fences are permitted. Invisible Fences are permitted with ARC approval and may only be installed in rear yards and required signage disclosing the existence of the fencing must be prominently posted. Clear, Arcylic fences are allowed around pools without screen cages on lots of 80' or greater.

**Garage Screens** are not permitted.

**Generators:** Generators should be located in a position of the least audible and visual impact to existing neighboring residence. Dense landscape of comparable type and size of existing community landscape or a four (4) foot PVC Fence (of specified type and color for the community) is required with the landscape screening if the installation and code requirements do not prohibit/limit distance needed for safe operation of equipment.

**Gutters:** ALL gutters with downspouts must disburse underground and may depending on site conditions be required to connect in to the underground drainage system. Water flow must be per the site drainage plan on the Final Survey of the home and underground system must convey to the front or rear yard and there disperse underground or disburse via an underground bubbler system. Detailed information showing the location of proposed downspouts, proposed drainage direction and existing drainage patterns (swales) is required. (Drainage direction is indicated on the Final Survey which is provided to residents at closing and required to be included in submission).

**Hurricane Shutters:** No surface mounted hurricane protection that is stored on the home (roll down, accordion, etc.) or window casing may be used on the street facing openings of the home. Diagram showing location and type of shutters is required. Please refer to the Use Restrictions for you community as determined in the association Declaration.

**Landscape Modifications:** Each homeowner has the right to re-plant all or portions of their beds at their own expense. The association is not responsible for the survival of landscape modifications. No modifications or connections to the community maintained irrigation system is permitted. The Irrigation Schedule for the community is controlled by the association and county. See Exhibit A for Landscape modifications.

**Landscape Lighting:** Lighting is limited to Low Voltage spot lights and area lighting. All low voltage lights must be located in existing landscape beds. No ARC is required if lights total a quantity of 12 or less on the entire lot. All low voltage spot lights must be directed upward, focusing on plants, trees or shrubs, and should be directed away from all homes within eyesight, regardless of distance, and also directed away from any preserve area.

**Mulch:** Mulch color is Cocoa Brown. The Community Landscape Standards are defined in the Landscape Community Standards. Mulch beds may not be replaced with rock except, to minimize mulch wash out from rain, a 4 (four) inch wide strip of River Rock stone may replace mulch in beds that abut driveways or entry-walk pavers and must have ARC approval.

**Paint:** The approved paint colors and packages as that are currently offered through the design center in your Neighborhood are considered the Community Standard. Painting the existing color as well as any modifications utilizing these colors is still subject to approval. All painting of the exterior of the home must have ARC review and approval. A request to change to an alternate Standard Color Package from the original Color Package of the home is permitted, but may not duplicate the Color Package of the neighboring homes on each side of your home.

**Paver or Concrete Door or Spigot Pads:** Screen cage or exit door pads may be added at the rear and side exits of the home but are limited to 4ft x 4ft width. Water Spigot (Hose Bib) pads are limited to a 2ft x 2ft paver pad. Pads may not extend as sidewalks. Extensive side pavers can impact the available impervious soil and the side swales functionality which is prohibited by Declaration. No additional poured or paver walkways are permitted on the side or front of homes other than entryway sidewalks. Owner maintained Stepping Stones are allowed in rear of home ONLY if owner has a dock in place. Stepping Stones can only extend from rear entry of lanai to dock and must be level with soil to allow mowers to pass over.

**Pools:** Configurations and placement of pool screen cages may be affected by conservation areas, pools, house plan,

utility and drainage easements, surface drainage requirements, county requirements and lot size or location and zoning restriction. Applicant shall demonstrate that drainage flow in side yard swale will not be impacted which includes the drainage from the gutters on any screen cage and must comply with existing site drainage plan. A detailed site plan, at an appropriate scale on a copy of the Final Survey must show all applicable property lines, easements, structures, and distances between structure and property lines and must be included with the application. *ALL gutters with downspouts and super gutters must disburse underground or may be required to connect into an underground drainage system. Water flow must be directioned as per the site drainage plan on the Final Survey of the home and disbursement system or underground system must convey the water flow to the front or rear yard and there disperse underground.*

**Pool Equipment:** The pool equipment location must be noted on the final survey when submitted for approval. Equipment must be screened by a 4 foot in height PVC Fence (of specified type and color for the community) and dense landscape of comparable type and size of existing landscape of the home and incorporate pool equipment dimensions only. It is not permitted to expand for storage. Location of pool equipment on the side of the home is to be a minimum of 3 feet past the rear plane of any neighboring lanai or screen enclosure to lessen noise impact.

**Satellite Dish:** Residents must submit a drawing with the proposed location prior to the installation of the dish. Every effort possible must be made to locate the dish in a manner that obscures the view of the dish from the street and minimizes the view from the neighboring property. The dish will be mounted off the ground on the side of the house with the top of the dish placed no higher than the bottom of the roof line. Plant material of adequate height and density may be required to be planted in the landscape bed on the street side of the dish to screen its view from the street. All installations will be completed in a manner that observes all FCC Regulations relevant to Satellite Dish installation as described in the Declaration of the Association and size is limited to one (1) meter in diameter (39.37 inches).

**Screen cages:** Cages must be of same color metal as gutter/soffits of home (Mansard style, Color Bronze). Screen cages (inclusive of pools) cannot extend past the plane of the home. Screen cage structures may not encroach in or on any applicable easements or inhibit existing storm water drainage or landscape maintenance. Height of the extended sides may not extend past the fascia of the home. (Does not include the mansard of the screen cage roof). *ALL gutters downspouts or super-gutters on a screen cage must disburse underground and may be required to connect into an underground drainage system. Refer to the section on GUTTERS in the Community Standards.*

**Solar Heating Panels:** Must be roof mounted on a non-street facing side of the home.

**Storm/Screen Doors:** Doors must be "Full View" style, with no decorative iron or cross bar and in a non-high contrasting color to the existing door frame.

**Trees:** Designated Shade and Street tree(s) are a requirement mandated by the county and other entities during the permitting process for this community. Prior to removal of any shade tree, documentation from an Arborist certified by the International Society of Arboriculture or a Florida licensed landscape architect, that the tree presents a danger to persons or property is required.

**Water Softeners:** Dense landscape of comparable type existing in the community must be installed to provide screening from view. The landscape must be at the same height and width of the planned unit to screen it from street and neighboring lot view.

**Yard Art:** Yard Art is limited to a total of three (3) decorative items and must be located within the landscape bed, and 24" or less in height. No yard art is permitted in the turf areas. This includes, but is not limited to, pots, artwork, gazing balls, sculptures or any other decorative item. No ARC is required for compliant items.

**Yard Structures:** No structure, playsets, fountains, benches, swings, gazebos, fire pits or furniture or any other item to be kept on or be constructed in the turf or bed areas.

# **EXHIBIT A**

## **OVERVIEW AND DESIGN INTENT**

The landscape design of each home has been done in a manner that integrates with adjacent lots and community spaces. A strong community image is critical to the enhancement of long term value. All landscape areas on the lot shall be planted with trees, shrubs, ground covers and turf, common or native to the region and designed to complement the architectural character of the house in form, location and scale.

Mulch Standard is Cocoa Brown mulch. Mulching promotes sustainable landscaping by helping to keep plant roots moist, shaded and free of weeds. All mulch installed will be from regenerative resources and match the mulch selected for the community. Rock and any other type of inorganic material is prohibited for use in any bed that is adjacent to turf.

All modifications that require individual landscape plans must meet the following criteria:

- ☐ They must be clearly and easily read.
- ☐ Existing easements must be shown on the plan, along with existing trees over five inches (5”) in caliper, measured three feet (3’) from the ground. All rights-of-way and utilities must be shown on the plan.
- ☐ Landscape plant materials are to be identified as to quantity, quality, specific size to be planted and common botanical name with variety.
- ☐ All hard surface materials are to be clearly noted as to their type and composition.
- ☐ All modifications to irrigation must be either noted on plan or fully described in writing.
- ☐ All plans shall conform to the County standards. Please refer to the appropriate County publications for landscape design and street tree requirements by lot size.
- ☐ The HOA retains the right to modify plants on the approved plant list and to modify plant arrangement in beds whenever certain plants become overly problematic to maintain, given specific site conditions.

## **PLANT MATERIALS**

### **Permitted and Prohibited Species**

All plant material used should be selected from the community specific plant list included in these guidelines. Plant species that are not listed may only be used with the consent of the ARC on a case by case basis and their approval provides no guarantees that the plants selected will perform well or be replaced by the HOA if they should struggle or fail completely.

### **Owner Risk**

For consistency in the landscape design, all plant materials shall be selected from the approved Plant List, unless otherwise determined by the ARC. Some plant materials are prohibited because of undesirable qualities or are considered to be an invasive species. These plant materials are also listed. Sizes described in the Planting Palette as designed are minimum sizes. In making changes to the initial landscape, the homeowner assumes all risk for the establishment of the new plants and for any ongoing replacement needed due improper planting technique, excessive mulch, sensitivity to temperature, moisture and sunlight and any increased pest susceptibilities that the plants may exhibit. All applications will require an Exhibit with that identifies the following:

- ☐ Plant species
- ☐ Minimum size, condition and quality
- ☐ All non- shrub areas must be completely sodded.
- ☐ All trees and shrubs will be Florida No. 1 as defined in “Grades and Standards for Nursery Plants”, Part I and II, State of Florida.

**Irrigation**

The appropriate design and installation of “Green Building Standards” irrigation systems has been initially provided at every home. Any modification to the landscape must utilize irrigation that meets the following criteria:

## EXHIBIT A

- ☐ All landscape areas, including grass, will be uniformly irrigated.
- ☐ All irrigation will be fully automatic system with rain sensor gauge.
- ☐ Separate zones will be provided to irrigate turf and bed areas.
- ☐ Using sprinkler heads with similar precipitation rates and not mixing rotors and spray heads on the same zone.
- ☐ Irrigation must provide head to head coverage with minimum overspray
- ☐ Only low volume irrigation (like drip or maxi-jets) are to be used in all shrubbery beds.
- ☐ Must use the Developer's approved water source.
- ☐ PVC pipe is to be class 160 or equal and purple in color.

### Plant List and Sizes

#### Green Builder Plant List

This plant list is provided for landscape revisions. Some material listed are moisture, pest and cold sensitive and will be planted at the risk of the homeowner.

#### Street Trees

Required street trees used during the initial installation may be replaced by owners with ARC and County approval, if required.

Minimum size (25 gallon)

<u>Common Name</u>	<u>Botanical Name</u>
Buttonwood	Conocarpus erectus
Bottlebrush	Callistemon spp.
Cassia Tree	Senna surattensis
Cedar, Southern Red	Juniperus virginiana
Crape Myrtle	Lagerstroemia indica
Dahoon Holly	Ilex cassine
Eagleston Holly	Ilex x attenuate
Frangipani	Plumeria spp.
Japanese Blueberry	Elaeocarpus decipiens
Ligustrum Tree	Ligustrum janunica
Little Gem Magnolia	Magnolia grandiflora "little gem"
Weeping Bottlebrush	Callistemon viminalis

#### Palms

Twelve-feet (12') overall height (spaced 8'-10' on center when used in cluster)

<u>Common Name</u>	<u>Botanical Name</u>
Areca Palm	Chrysalidocarpus lutescens
Bismark Palm	Bismarckia nobilis
Cat Palm	Chamaedorea cataractarium
Cabbage Palm	Sabal palmetto
Coconut Palm	Cocos nucifera
Chinese Fan Palm	Livistona chinensis
Christmas Palm	Adonidia merrillii
Foxtail Palm	Wodyetia bifurcata
Pindo Palm	Butia capitata
Piccabean Palm	Archontophoenix cunninghamiana
Royal Palm	Roystonea regia
Sylvester Palm	Phoenix sylvestris

**Shade Trees** Minimum size (25 gallon)

## Exhibit A, cntd.

<u>Common Name</u>	<u>Botanical Name</u>
Bald Cypress	Taxodium distichum
Golden Shower	Cassia fistula
Southern Magnolia	Magnolia grandiflora “Little Gem”
Shade Tree, cont.,	
Elm Tree	Ulmus spp.
Live Oak	Quercus virginiana
Shady Lady Black Olive	Bucida buceras “Shady Lady”
Slash Pine	Pinus elliottii
Royal Poinciana	Delonix regia

### Accent Shrubs

Three (3) gallon; container grown (spaced 36” on center)

<u>Common Name</u>	<u>Botanical Name</u>
Areca Palm	Dypsis lutescens
Bird of Paradise	Strelitzia reginae
Bougainvillea	Bougainvillea glabra
Coontie	Zamia floridana
Century Plant	Agave Americana
Eugenia	Eugenia spp.
Gardenia	Gardenia Augusta
Golden Dewdrop	Duranta repens
Hibiscus	Hibiscus rosa-sinensis
Podocarpus	Podocarpus macrophyllus
Dracaena	Dracaena spp
Simpson Stopper	Myrcianthes fragrans
Ti Plant	Cordyline fruticosa
Bluestem Palmetto	Sabal minor
Schefflera Arboricola	Schefflera arboricola “trinetto”
Cardboard Palm	Zamia furfuracea
Chinese Fan Palm	Livistona chinensis
European Fan Palm	Chamaerops humilis
Lady Palm	Rhapis excels
Poneytail Palm	Nolina recurvate
Saw Palmetto	Serenoa repens
Windmill Palm	Trachycarpus fortune
Pygmy Date Palm	Phoenix roebelinii

### Medium Shrubs

Three (3) gallon; container-grown (spaced 36” on center).

<u>Common Name</u>	<u>Botanical Name</u>
Allamanda	Allamanda spp.
Beach Elder	Iva imbricate
Beautyberry	Callicarpa Americana
Bougainvillea	Bougainvillea glabra
Butterfly Bush	Buddleia spp.
Croton	Codiaeum variegatum “mammy” & “petra”
Dwarf Ixora	Ixora chinensis
Dwarf Natal Plum	Carissa macrocarpa
Dwarf Firebush	Hamelia patens “compacta”
Dwarf Fakahatchee Grass	Tripsacum floridana
Fakahatchee Grass	Tripsacum dactyloides

## Exhibit A, cntd.

Firethorn, Red  
Florida Anise  
Florida Privet  
Foxtail Fern  
Gallberry  
Gardenia  
Green Buttonwood  
Green Island Ficus

### Medium Shrubs, cont.,

Ixora  
Nora Grant Ixora  
Jasmine  
Muhly Grass  
Natal Plum  
Oleander, Dwarf  
Podocarpus  
Purple Fountain Grass  
Red Tip Cocoplum  
Sea Grape  
Sand Cordgrass  
Silver Palmetto  
Variegated Ginger  
Viburnum, Sandankwa  
Viburnum, Sweet  
Viburnum, Walter's  
Wax Myrtle  
Wild Coffee

Pyacantha coccinea  
Illicium floridanum  
Forestiera segregata  
Asparagus densiflorus  
Ilex glabra  
Gardenia Augusta  
Conocarpus erectus  
Ficus microcarpa "green island"

Ixora Maui  
Ilex coccinea "nora grant"  
Jasmine multiflorum  
Muhlenbergia capillaris  
Carissa macrocarpa  
Nerium oleander  
Podocarpus macrophyllus  
Pennisetum setaceum "rubrum"  
Chrysobalanus icaco "Red Tip"  
Coccoloba uvifera  
Spartina bakeri  
Serena repens "silver form"  
Alpinia zerumbet "Variegata"  
Viburnum suspensum  
Viburnum odoratissimum  
Viburnum obovatum  
Myrica cerifera  
Psychotria nervosa

### Dwarf Shrubs and Groundcovers

One (1) gallon; container-grown (spaced 18" on center)

<u>Common Name</u>	<u>Botanical Name</u>
False Heather	Cuphea hussopifolia
Flax Lily	Dianella tasmanica "variegata"
Grass, Aztec	Ophiopogon spp.
Grass, Mondo	Ophiopogon japonica
Jasmine, Asiatic	Trachelospermum asiaticum
Jasmine, Carolina	Gelsemium sempervirens
Liriope	Liriope spp.
Perennial Peanut	Archis glabrata
Spider Plant	Chlorophytum comosum

### Seasonal Color

Flowering annuals and other non-woody ornamentals will not be counted as perennial material for required criteria.

Homeowners will assume full responsibility for maintenance and the HOA landscape maintenance contractor will not be responsible for any mechanical damage done by workers performing routine maintenance or any herbicide drift from herbicides used for weed control in beds or turf.

<u>Common Name</u>	<u>Botanical Name</u>
Amaryllis	Hippeastrum hybrids
Begonia	Begonia spp.
Blanket Flower	Gaillardia pulchella
Daisy, African Bush	Euryops chrysanthemoides
Fancy Leaved Cladium	Caladium x hortulanum



## **Exhibit A, cntd.**

**Marigold  
Pentas  
Periwinkle  
Petunia  
Geranium**

**Tagetes spp.  
Pentas landeolata  
Catharanthus roseus  
Petunia x hybrda  
Geranium dissectum**

### **Undesirable Plant Materials Not to be used. Common Name Botanical Name**

**Arbor Vitae  
Australian Pine  
Brazilian Pepper  
Chinaberry  
Eucalyptus  
French Mulberry  
Jacaranda  
Mimosa  
Yellow Poinciana  
pierocarpum  
Punk Trees  
Sycamore  
Norfolk Island Pine  
Schefflera Tree  
Queen Palm  
Washingtonia Palm**

**Thuja orientalis  
Casuarina spp.  
Schinus spp.  
Melo a cedarach  
Eucalyptus species  
Morus Alba  
Jacaranda mimosifolia  
Albiza spp.  
Peltophorum  
  
Malaleuca spp.  
Plantus occidentalis  
Araucaria heterophylla  
Scheffler spp.  
Syagrus romanzoffiana  
Washingtonia robusta**

# **Exhibit B**

## **FENCE GUIDELINES**

A request must be submitted to the Architectural Review Committee (“ARC”) with the plans and specifications for all proposed pool fences prior to installation. Invisible fences are the approved Community Standard fence for lots that are adjacent to water and lakes. Aluminum fences can be installed on non-water adjacent lots only.

Homeowner will be responsible for the maintenance, repair and replacement costs of all aspects of the pool/invisible fence/fence.

Homeowner acknowledges that the Association and the landscape maintenance company hired by the Association will not be held responsible for any damage caused to such fencing by the Association or the landscape maintenance company or maintenance of any drainage easements repairs by the association.

Homeowner will be responsible for all permits required for construction and will be solely responsible for any damages caused by construction including, but not limited to, any damage to your neighbor’s landscape, sod, irrigation, etc.

Any debris caused by this work must be removed from association property. It may not be deposited on any existing home site or common area.

Should access be required from your neighbor’s property, the applicant will be responsible for obtaining permission from them. This includes vacant home sites owned by the developer and/or a builder.

- Fences are NOT permitted on Twin Villa home sites.
- Fences are NOT allowed in the rear of home sites that have the rear yard abutting or are adjacent to open water.
- Gates must be located on the front or rear of the lot for access. No side entry gates are permitted.
- Home sites with landscape maintained by the association must have 52” wide gates for equipment entry.
- If applicable, rear fences must abut to any association maintained fences in the rear yard.
- Approved fences may not be modified with netting or other material.
- No access is permitted through any community common area or conservation area.

### **Single family Homesites**

- A request must be submitted to the Architectural Review Committee (“ARC”) with the plans and specifications for all proposed fences prior to installation of the fence.
- The fence must start at the rear corners of your home and will extend to the side property lines and five (5) feet from the rear property line. **Corner homesite** fences must stay within same plane of the home (fence cannot extend past parallel plane of home) on street side. **Side Entry Villas only** may have invisible fences. See the Side Entry exhibit on Page 11 for the options that are dependent upon the entry sidewalk location and property line.
- The fence must be 4 foot bronze aluminum, powder coated picket fence. Style will be straight, narrow fence with minimum 2” spacing between vertical posts. See attached picture for example.
- Those home sites where landscape is maintained by the association will be charged an additional maintenance fee, if so determined by the association, at a price determined by the association, as a benefit assessment for additional coordination and scope to maintain landscape on the property.
- Homeowner will be responsible for the maintenance, repair and replacement costs of all aspects of the fence.
- Homeowner acknowledges that the Association and the landscape maintenance company hired by the Association will not be held responsible for any damage caused to such fencing by the Association or the landscape maintenance company.
- Homeowner will be responsible for all permits required for construction.

- Homeowner will be solely responsible for any damages caused by construction including, but not limited to, any damage to your neighbor's landscape, sod, irrigation, etc.
- Any debris caused by this work must be removed from association property. It may not be deposited on any existing home site or common area.
- Should access be required from your neighbor's property, the applicant will be responsible for obtaining permission from them. This includes vacant home sites owned by the developer and/or a builder.
- No access is permitted through any community common area or conservation area.

### **Invisible Fences:**

- ☐ Invisible fences are recognized and defined as an acceptable enclosure for pets per the County regulations.
- ☐ Signage disclosing the existence of the invisible fence must be prominently displayed.
- ☐ Invisible fence enclosures may only be installed in rear yards and must start at the rear corners of the home, extending to a minimum of 3 feet from the side property lines and a minimum of 6 feet from the rear property line.
- ☐ The operating equipment for the fence must be properly installed and remain in continuous working order. Any animal being contained within the fenced area must wear the appropriate collar at all times when in the fence area.

### **Aluminum Pool Fences.**

When no screen cage is present, an Aluminum Rail Fence may be submitted for approval and follow the following standards.

- ☐ The fence must follow the perimeter of the pool decking.
- ☐ No grass or landscape bed abutting the pool deck may be enclosed within the fence.

## **Exhibit B, cntd.**

- ☐ Approved pool fences may not be modified with netting or other material.
- ☐ The Pool fence can be no higher than four feet (4').
- ☐ The Pool fence must be bronze aluminum, powder coated picket fence. Style will be straight, narrow fence with minimum 2" spacing between vertical posts. See pictures below for example. Clear Acrylic fences are approved for lots of 80' or greater only. Clear Acrylic Fences must allow water to flow underneath.



Sample Standard Fence option Photo:

Note Double Rail at top of fence.

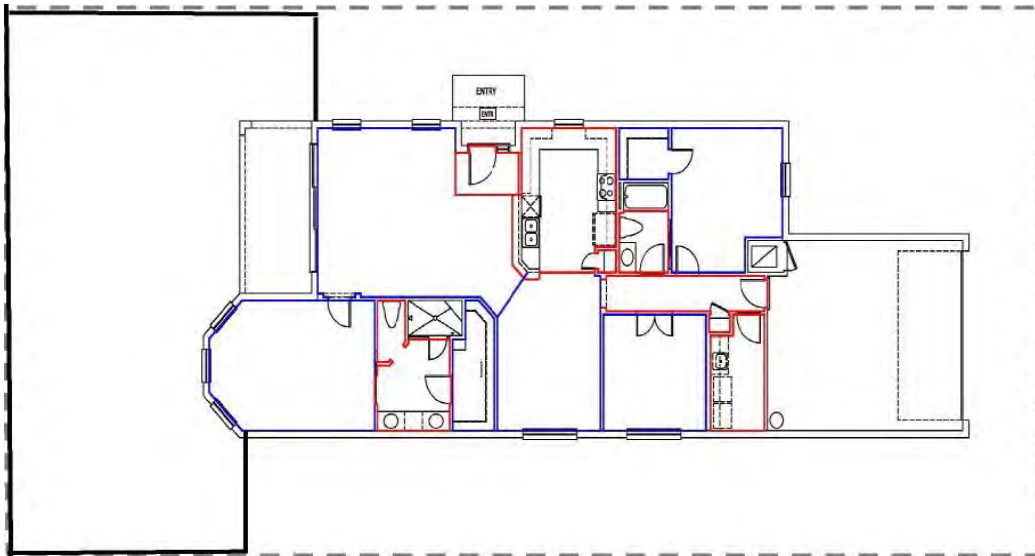
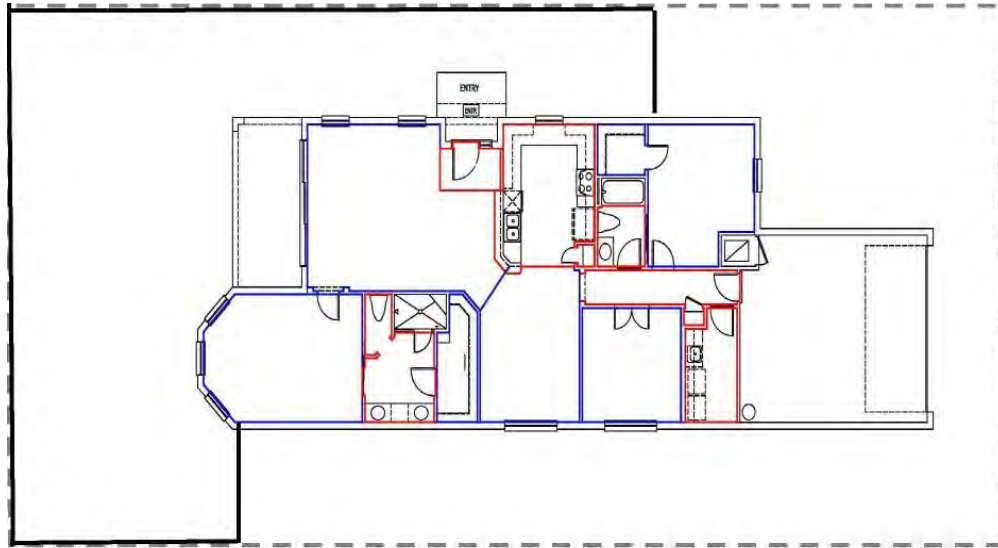


Sample Puppy Fence option Photo:

Note Narrow Spaced Rails section  
at the bottom of the fence.


## **Exhibit B, cntd.**

Invisible Fence layout for Side Entry Single Family Villas. Gray dotted line is the lot line: -----  
Solid line is the sample Invisible Fence Line, if sidewalk is contained within your lot. Invisible  
Fence layout for Side Entry Single Family Villas, Gray dotted line is the lot line:  
Solid line is the sample Invisible Fence Line. If any of the sidewalk is on neighboring  
property, Invisible fence must end at the rear corner of home on both sides



## Exhibit C

Widening of driveway for Two Car Front load Garage homes only may be widened on one or both sides. Single Family Homes Only. Landscape areas next to the front of the garage must be retained.

 = landscape are to be retained

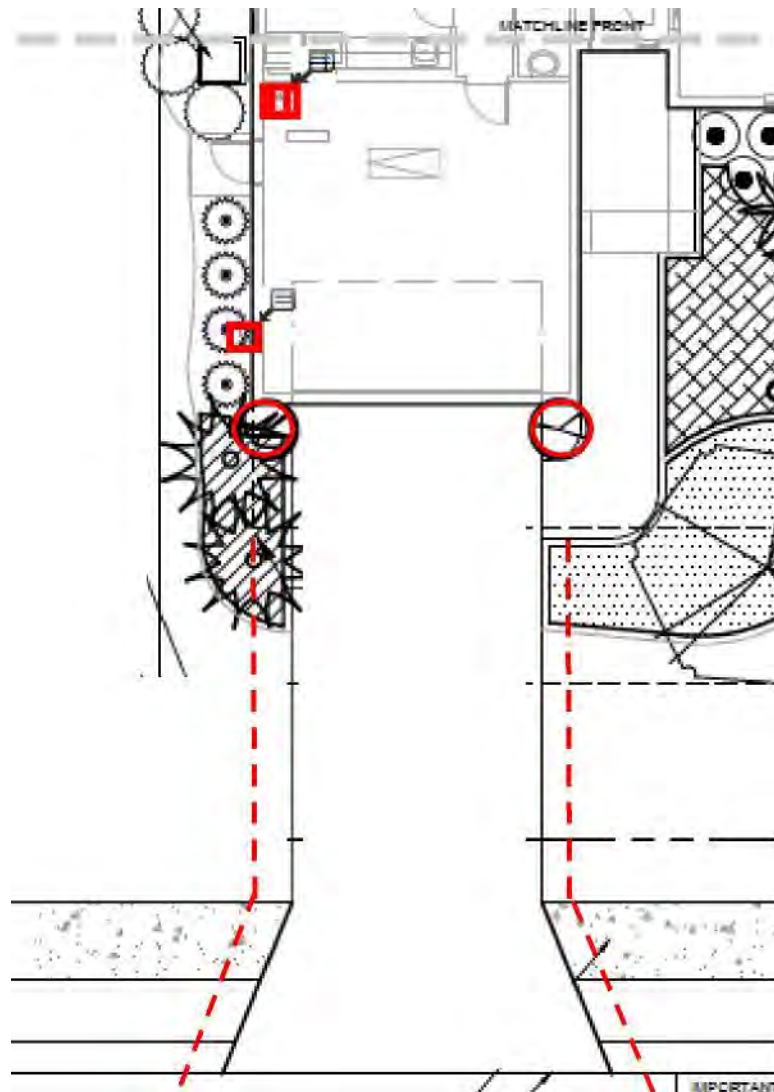
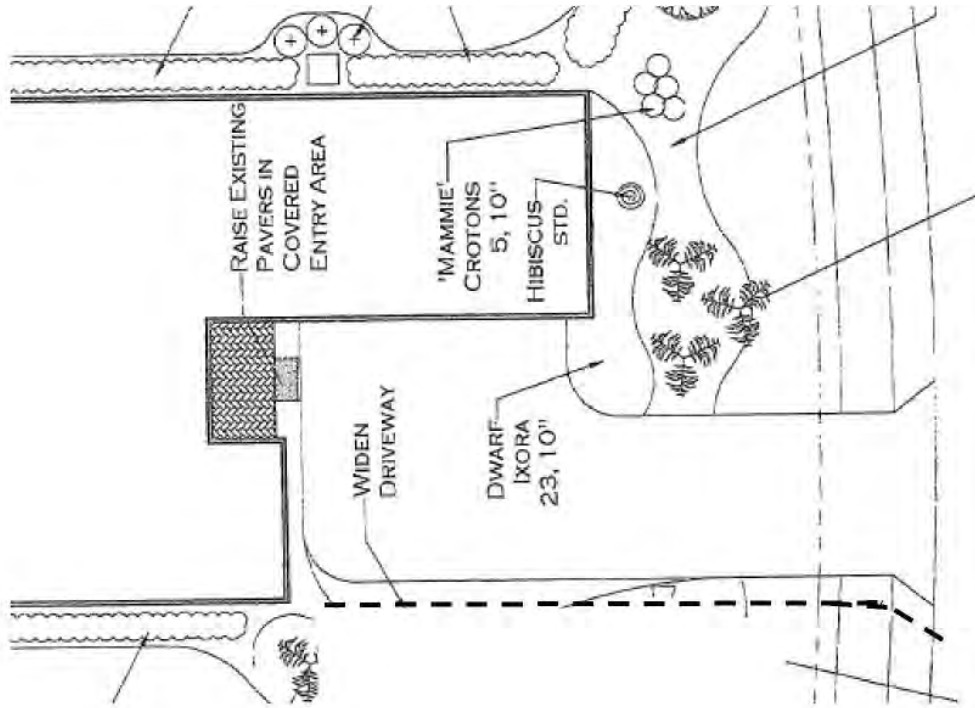


Exhibit C, cntd.

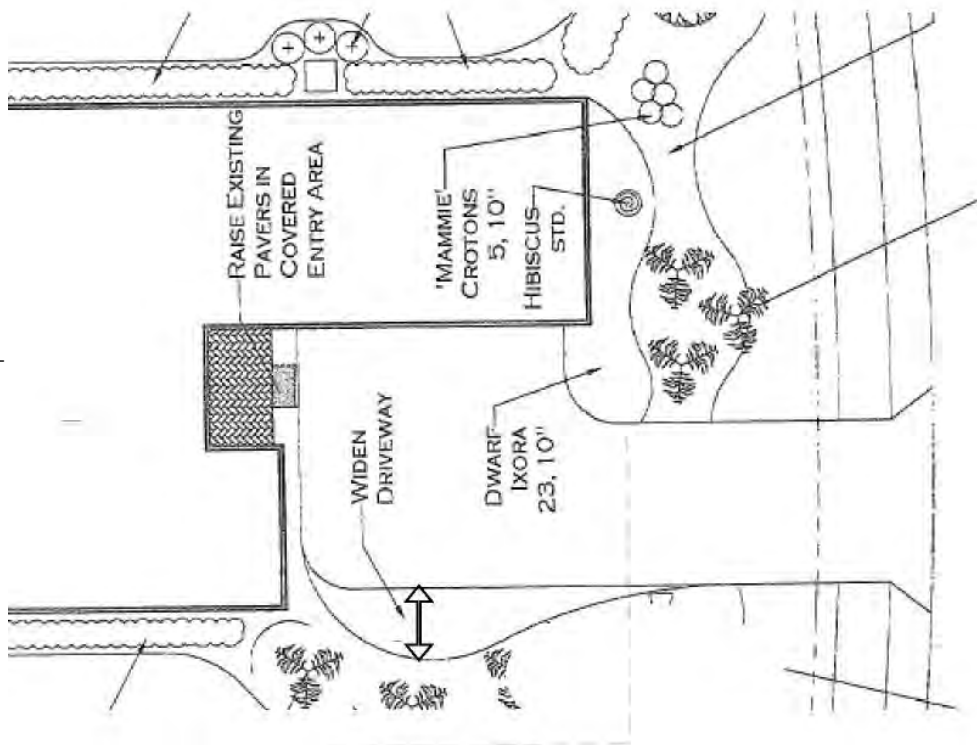
Side load Garages only, Landscape areas next to the front of the home must be retained.

Option 2 Parallel



Option 1

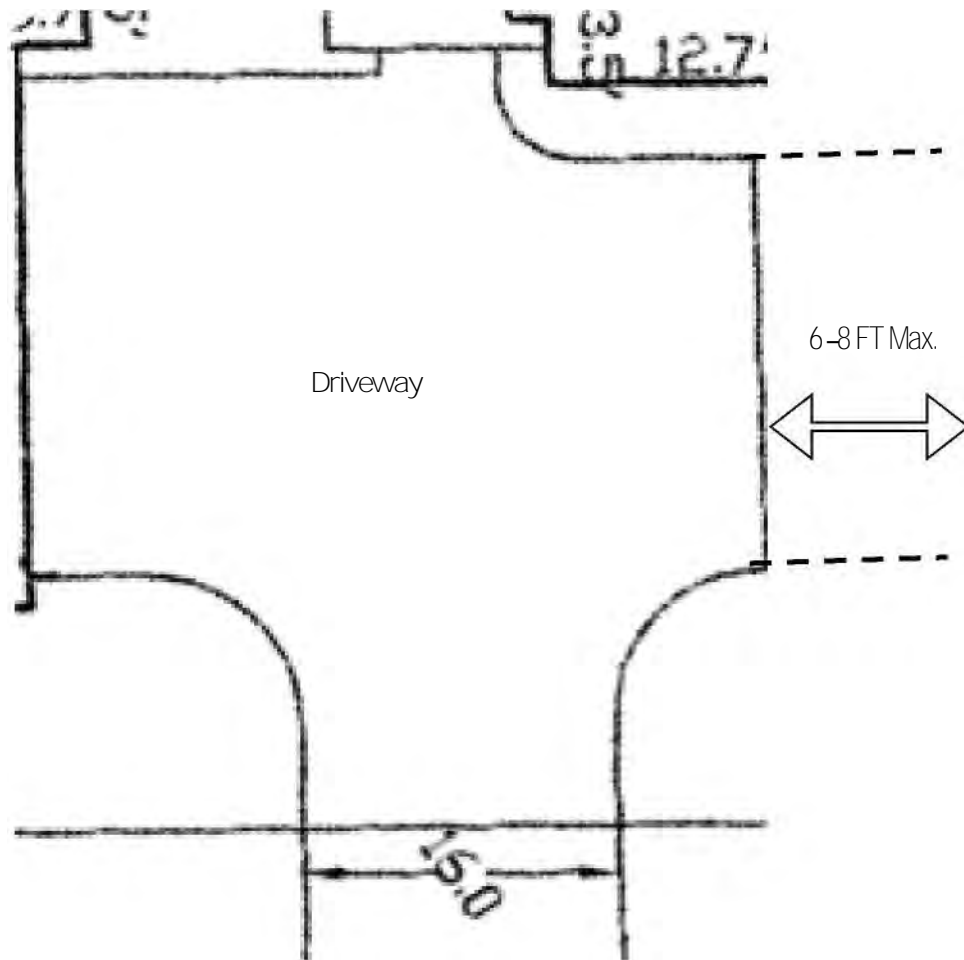
Bumpout



## Exhibit C

### Options for **76'** or wider Home sites Only

Hammerhead driveways may be widened a maximum of an additional 8 ft but may not extend past the front plane of the home. Additional footage may be approved on a case by case basis depending on the house model, lot dimensions, and landscape maintenance equipment requirements. Outside edge of paver extensions must be at least 4 foot from side yard Drainage Easements. Additional landscape screening is required. Existing Landscape beds between the home and the drive must be retained





# **Esplanade Lake Club**

## **Private Boat Dock Standards**

Private Boat Docks at Esplanade Lake Club are permitted on Designated Private Boat Dock Lots as referenced in the recorded Esplanade Lake Club Community Association documents.

All Docks are will be reviewed and approved by the Architectural Review Committee. Please refer to the Recreational Management Plan for the North and South Lake, and the Lake Use Agreement contained in the Declaration of Covenants, Conditions, Restrictions and Easements for Esplanade Lake Club. (Article XVIII, Section 2, and the Exhibits E, G and H)

- **Location:** No dock may be constructed or maintained in a way that creates and impediment to the navigation on the Lakes. No dock may extend more than 35 feet from the control elevation of any developed single family lot. (Exhibit E, Recreational Management Plan for North and South Lakes, Section 2.5). Docks must be located in the center of the Lot.
- **Dock Fee:** A non-refundable Dock Application Fee of \$5,000.00 payable to the association is required on all docks constructed on a lot with a completed home. (See Article XVIII, Section 2 of the Esplanade Lake Club Declaration)
- **Designated Dock Lots:** Docks may only be constructed on a Designated Private Boat Dock Lot as defined in Exhibit G. (Article XVIII, Section 2 of the Esplanade Lake Club Declaration)
- **Dock Type(s):** The Type of Dock is permitted on the lot is limited to those depicted in Exhibit H. (See Article XVIII, Section 2 of the Esplanade Lake Club Declaration). All docks shown on Exhibit H can substitute “U” type dock 2 for the dock depicted on their lot on the Exhibit.

### **Boat Lifts: Dock Modifications:**

Any approved boat lift mechanism must be supported by a floating dock, must be completely below deck, the cradle must be supported by stainless steel cable and all exposed aluminum (except for the cradle itself) must be covered with the approved decking material and in the approved colors. (See Article XVIII, Section 2, Paragraph A of the Esplanade Lake Club Declaration)

*Note: Azek Brownstone and Tandek Sand are similar in color but do not match exactly. Azek Slate Gray does*

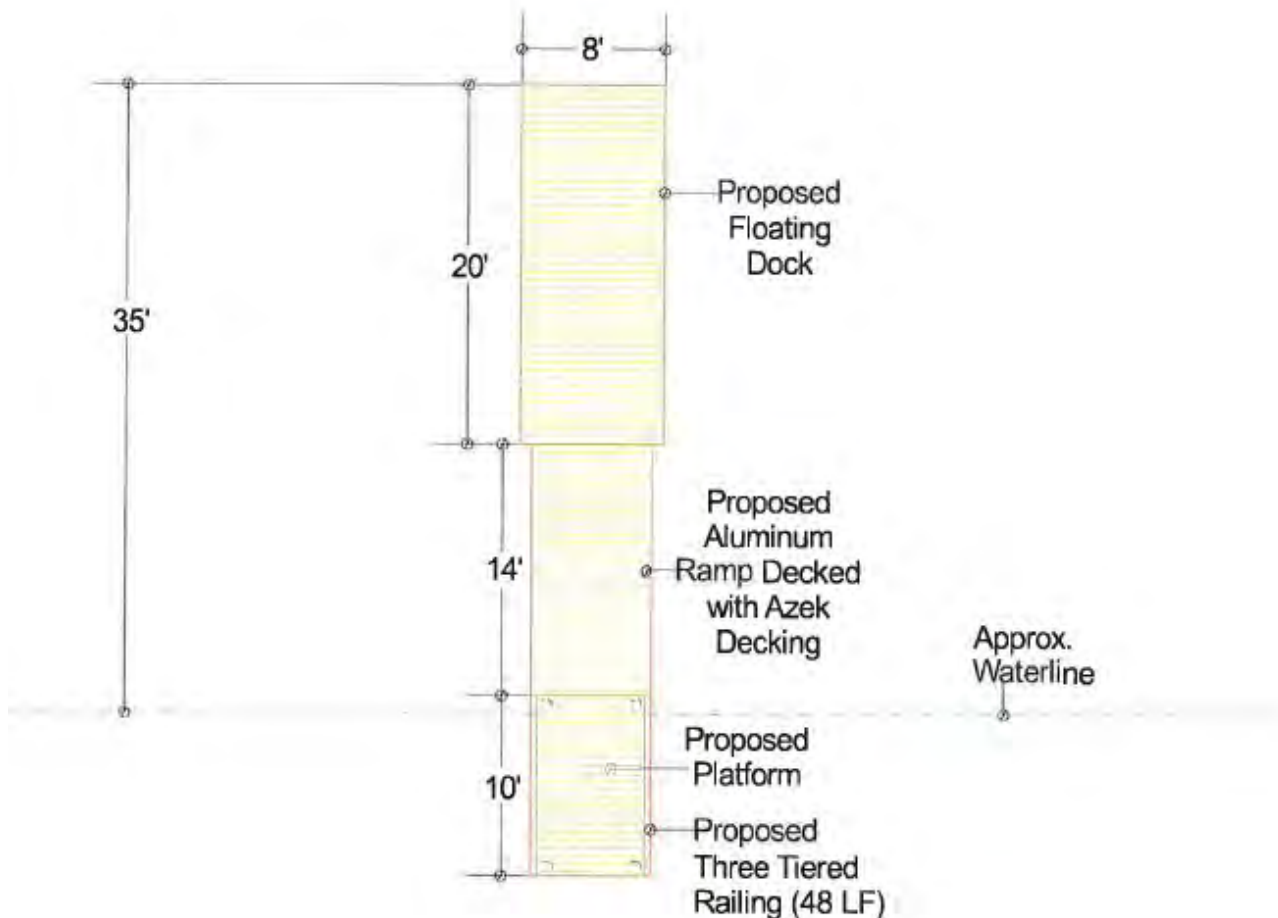
not match any Tandeck colors. Azek does not fabricate 4"x4" posts.

### Floating Dock Specs:

- Construct one (1) (6'x10') pressure treated framed fixed platform.
  - Install one (1) (6'x14') aluminum framed 5/4"x6" Azek (Brownstone or Slate Gray) decked ramp with hinge on each side attached **to** platform and one (1) new pressure treated framed (8'x20') Floating Dock.
  - Construct (48 LF) Three Tiered Railing built using 5/4"x6" Azek decking (Slate Gray or Brownstone) as railing members and 4"x4" Tandeck posts.
- 2'x4' Floating Billets -12 pieces
  - 2"x8".60 CCA Stringers
  - HDG Structural Hardware
  - 5/4"x6" Azek (Brownstone or Slate Gray) through fastened with SS decking screws
  - Black Rub Rail, (4) corner bumpers on floating dock
  - (4) black fold down heavy duty nylon cleats
  - Azek Fascia Material (Brownstone or Slate Gray) installed on all visible outward stringers on structure
  - Rock punching pilings into place as deemed necessary

### Platform Specs:

- 8" 2.5cca treated 2.5 CCA pilings, driven to appropriate grade
- Stringers 2" x 8" cca rough sawn



## “U” TYPE DOCK

### Floating Dock with Lift Specs:

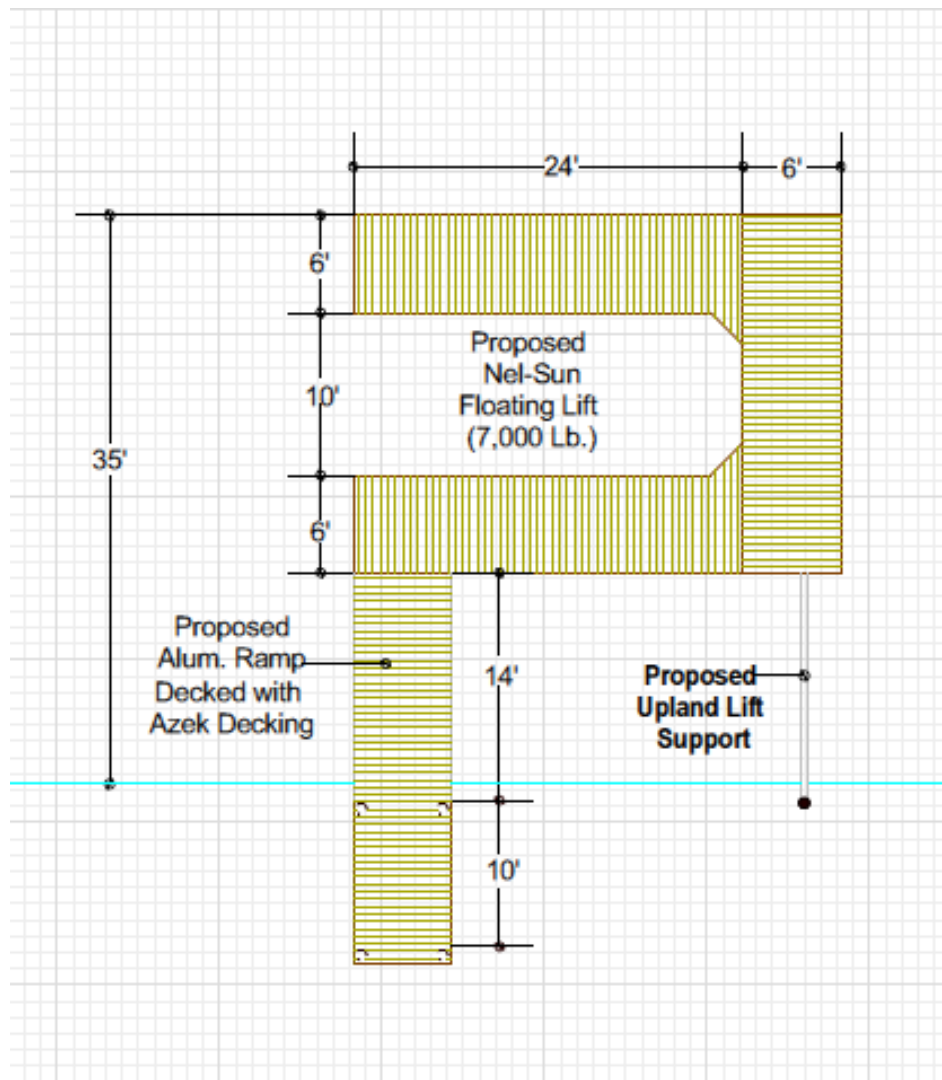
- 7,000 Lb. capacity with sea drives, stainless steel motors and 10' wide cradle beams.
- Boatlift will be connected to bank utilizing one (1) 6'x14' aluminum ramp and one (1) aluminum beam/hinge mounted upland lift support (both decked with Azek Decking).
- Aluminum Ramp will be connected to 6'x10' pt fixed upland platform.
- Construct Three Tiered Railing (48 LF) built using 5/4"x6" Azek decking (slate gray or brownstone) as railing members and 4"x4" Tandek posts.
- Install six (6) black heavy duty nylon fold down cleats, black rubrail on inside of boatslip,
- Install six (6) corner bumpers and six (6) black mooring supports.
- Install Azek Fascia material (brownstone or slate gray) on all visible outward stringers on structure.
- 

#### Floating lift Specs:

- Decking 5/4"x6" Azek Decking (Slate Gray or Brownstone) through fastened into substructure
- (1) remote control with auto stop

#### Upland Platform Specs:

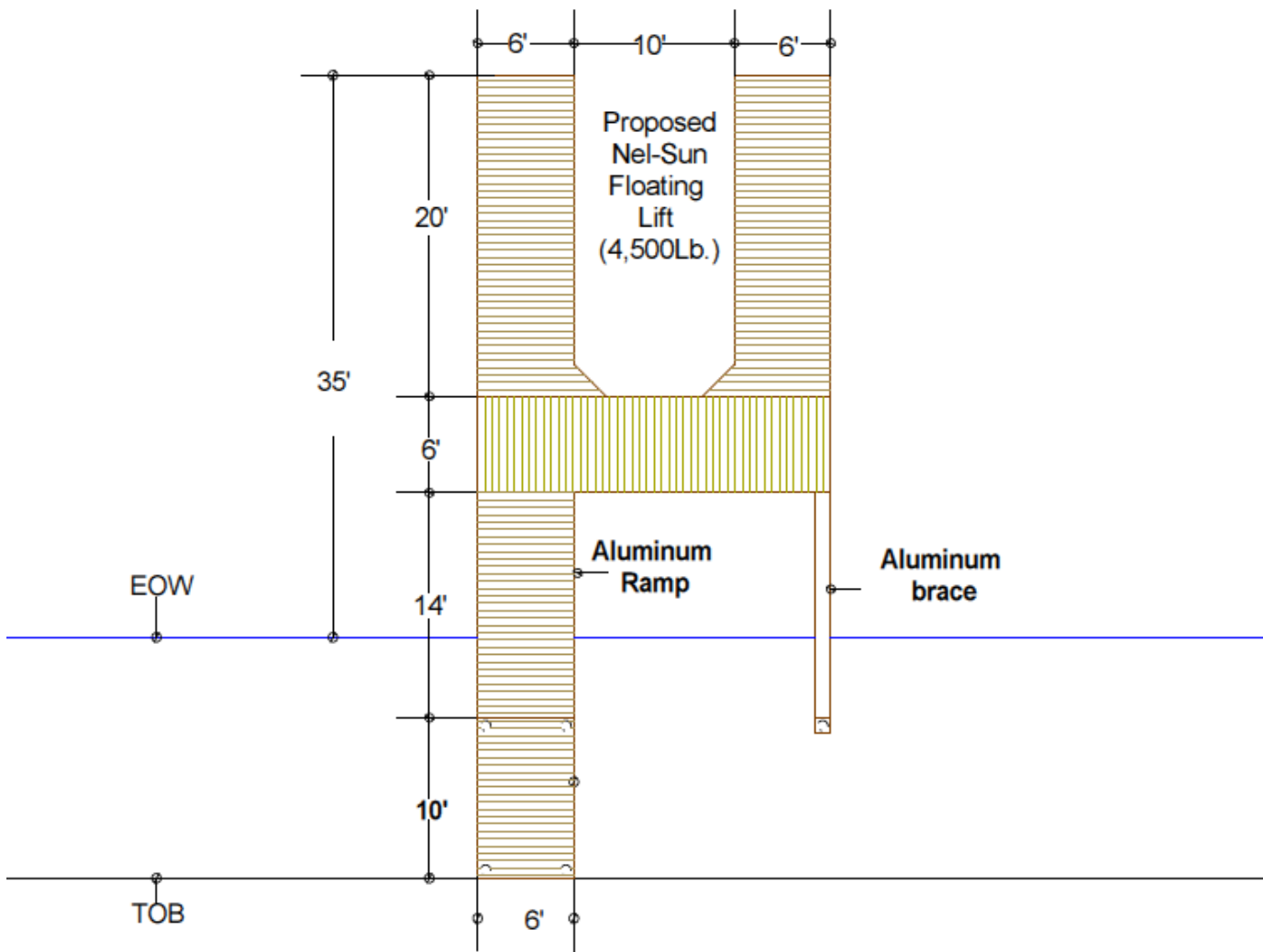
- 8" 2.5cca treated 2.5 CCA pilings, driven to appropriate grade
- Stringers 2" x 8" cca\_rough sawn
- Stainless steel bolts and deck screws
- Decking 5/4"x6" Azek Decking (Slate Gray or Brownstone) through fastened into substructure\

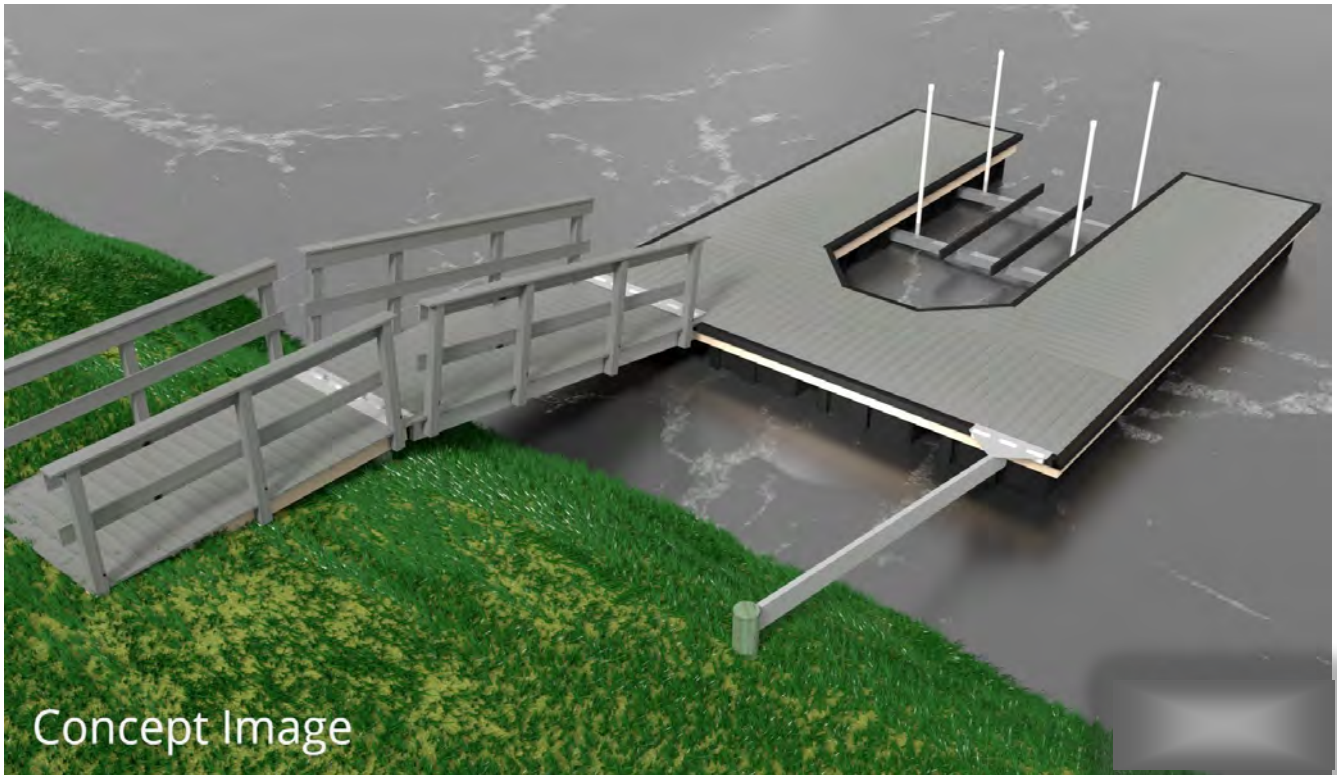


## “U” TYPE DOCK 2

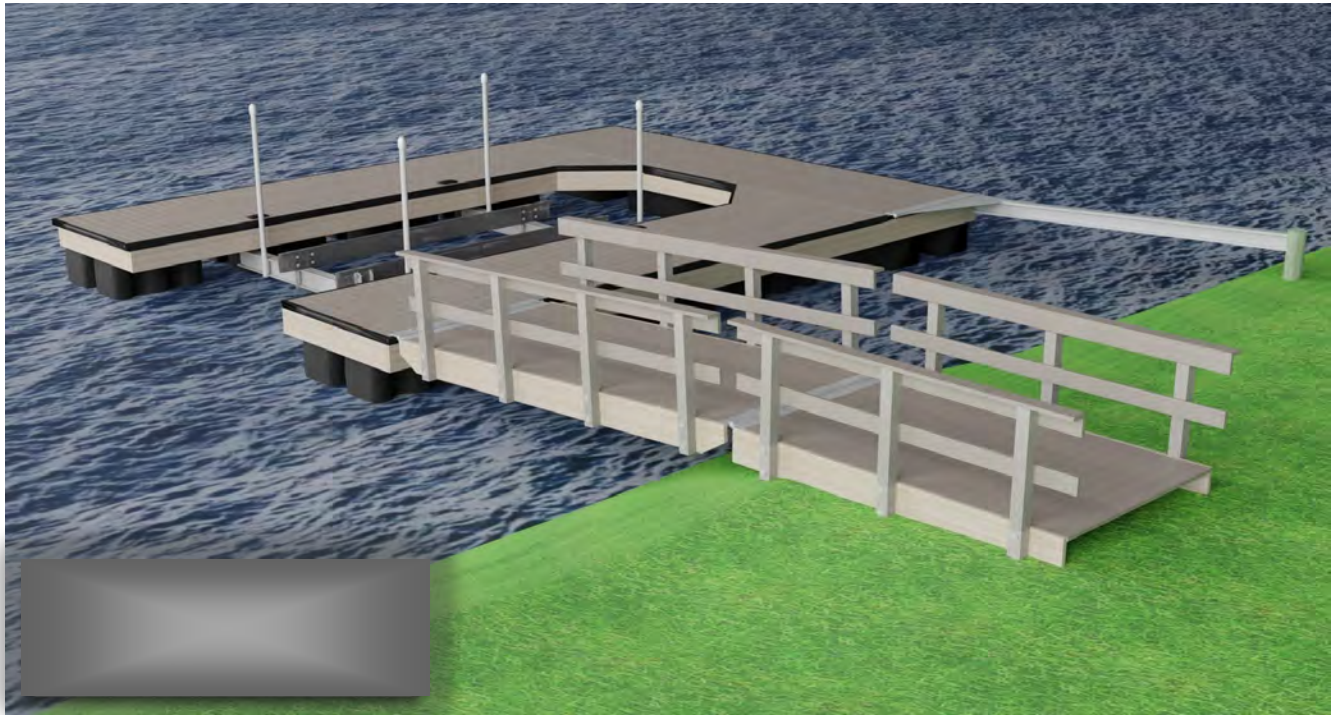
### Floating Dock/Lift :

- Boatlift will be connected to bank utilizing one (1) 6'x14' aluminum ramp and one (1) aluminum beam/hinge mounted upland lift support (both decked with Azek Decking).
- Aluminum Ramp will be connected to 6'x10' pt fixed upland platform.
- Construct Three Tiered Railing (48 LF) built using 5/4"x6" Azek decking (slate gray or brownstone) as railing members and 4"x4" Tandeck posts.
- Install six (6) black heavy duty nylon fold down cleats, black rubrail on inside of boatslip, six (6) corner bumpers and six (6) black mooring supports.
- Install Azek Fascia material (brownstone or slate gray) on all visible outward stringers on structure.
- Decking 5/4"x6" Azek Decking (Slate Gray or Brownstone) through fastened into substructure
- (1) GEM Remote control with auto stop
- 8” 2.5cca treated 2.5 CCA pilings, driven to appropriate grade
- Stringers 2” x 8” cca rough sawn
- Stainless steel bolts and deck screws





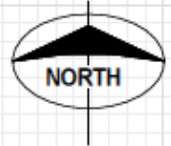




## U" TYPE DOCK 1

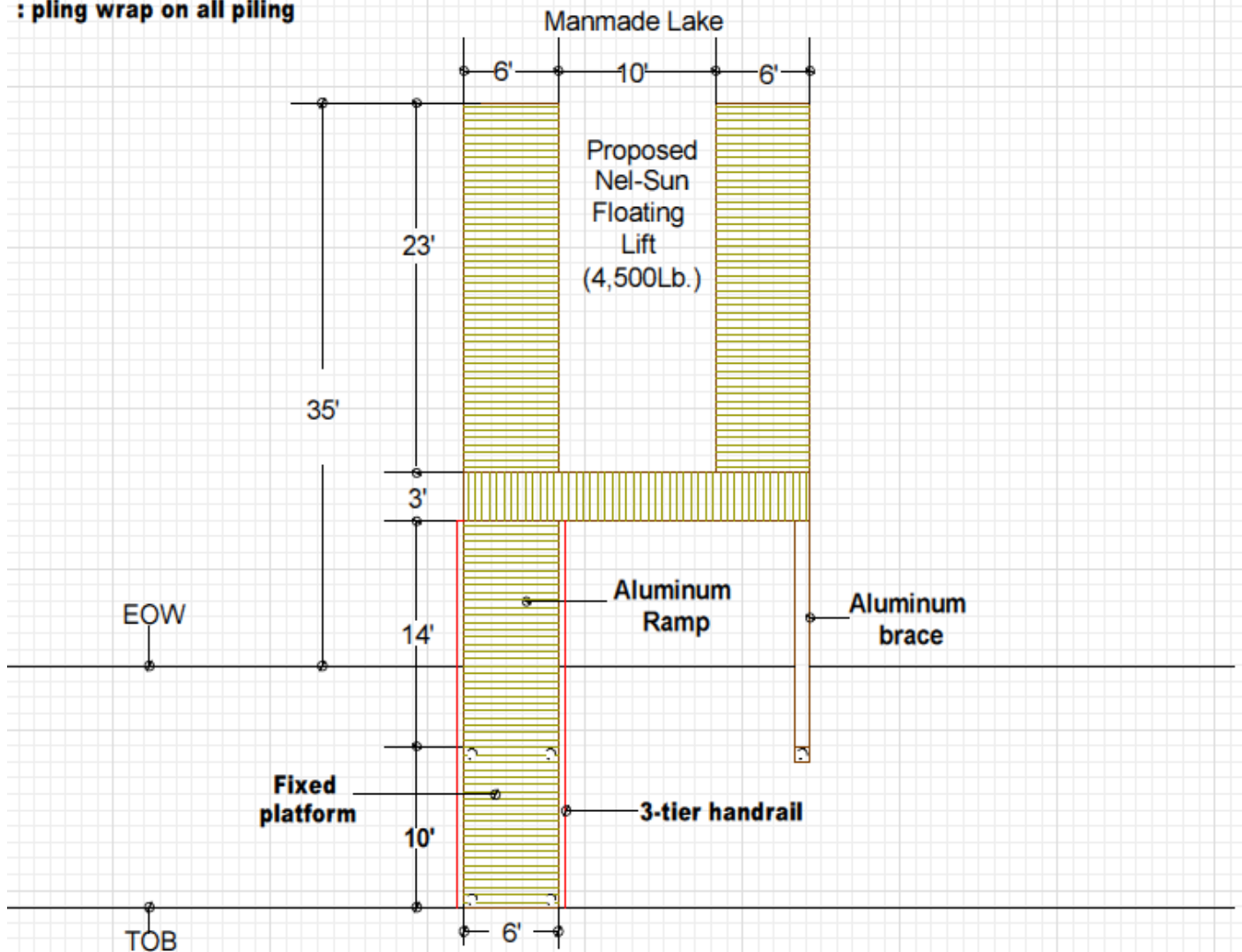
### Specs for 4,500 lb. capacity Nelsun lift (under deck IMM/Quality direct drive s.s. cable lift with cradle)

- : engineered all aluminum construction
- : azek 1 x 6 decking and ½" x 12" of fascia around perimeter
- : 20" tall floatation billets
- : minimum 6' wide lift modules
- : 4- maintenance access panels
- : Gem auto stop remote mounted on pedestal with extra 110 outlet
- : standard aluminum bunks
- : engineered Gator aluminum cantilever double hinged ramps
- : electrical connection to end of dock
- : 6 - fold down boat cleats
- : black rub railings and corner bumper on dock decking



### Fixed platform

- : 8' posts driven to appropriate grade and bearing
- : 2" x 8" .60 rough sawn pine framed
- : Azek decking and fascia
- : pling wrap on all piling



## U" TYPE DOCK 2

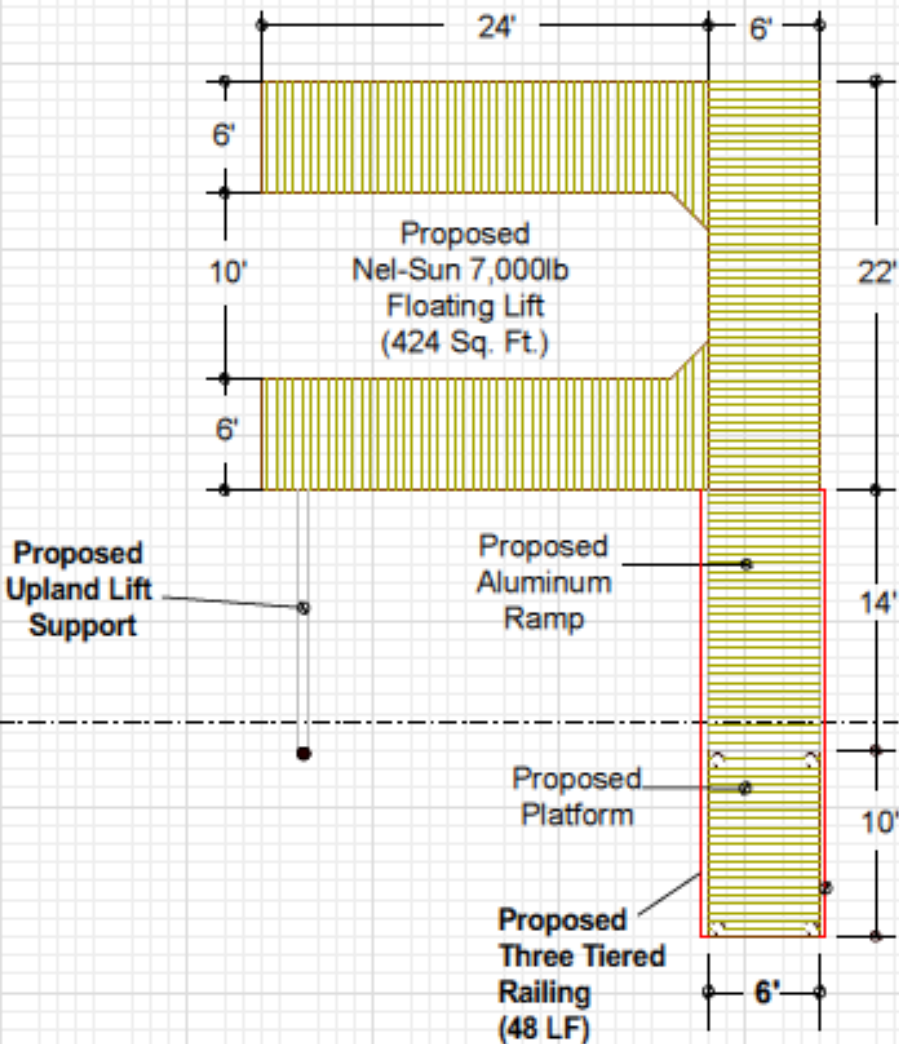
### Specs for 7,000 lb. capacity Nelsun lift (under deck IMM/Quality direct drive s.s. cable lift with cradle)

- : engineered all aluminum construction
- : azek 1 x 6 decking and ½" x 12" of fascia around perimeter
- : 20" tall floatation billets
- : minimum 6' wide lift modules
- : 4- maintenance access panels
- : Gem auto stop remote mounted on pedestal with extra 110 outlet
- : standard aluminum bunks
- : engineered Gator aluminum cantilever double hinged ramps
- : electrical connection to end of dock
- : 6 - fold down boat cleats
- : black rub railings and corner bumper on dock decking



### Fixed platform

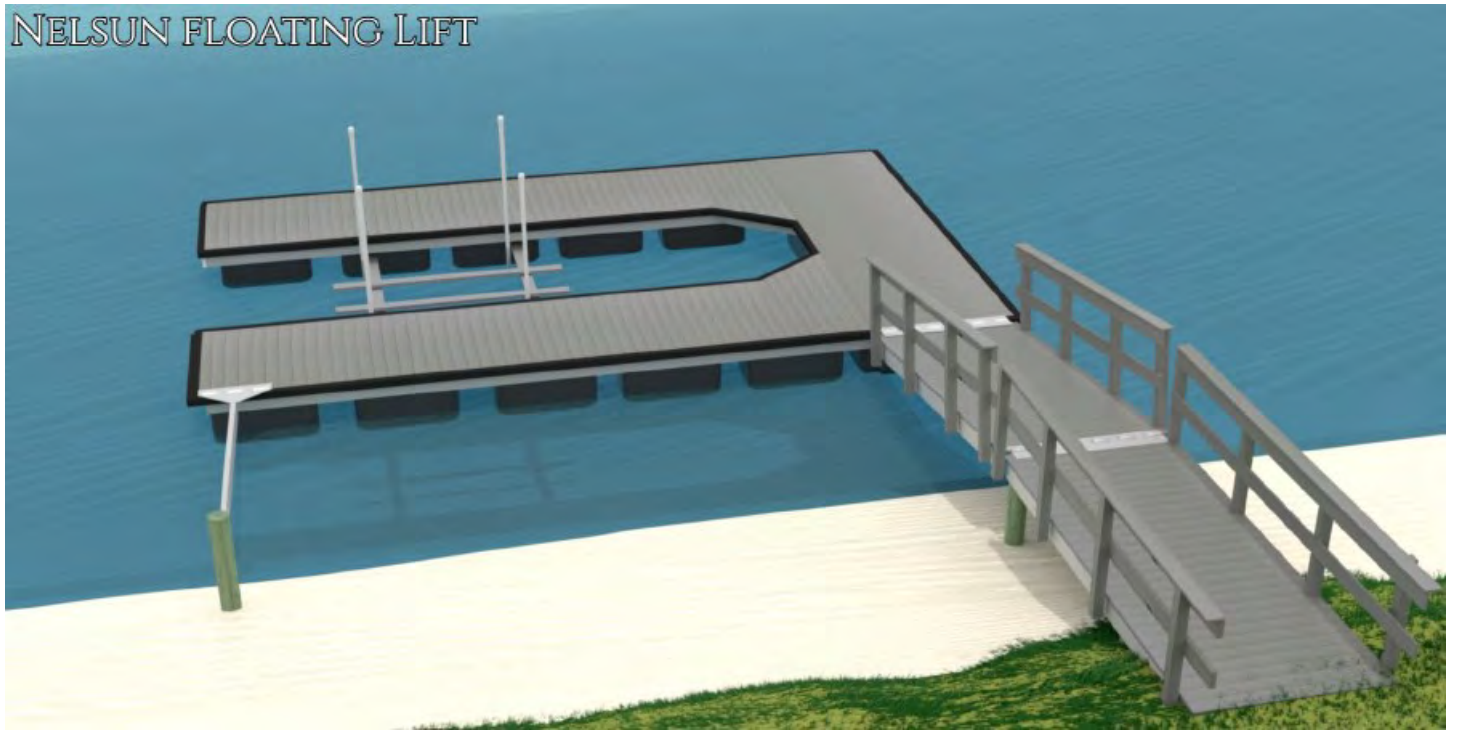
- : 8' posts driven to appropriate grade and bearing
- : 2" x 8" .60 rough sawn pine framed
- : Azek decking and fascia
- : pling wrap on all piling



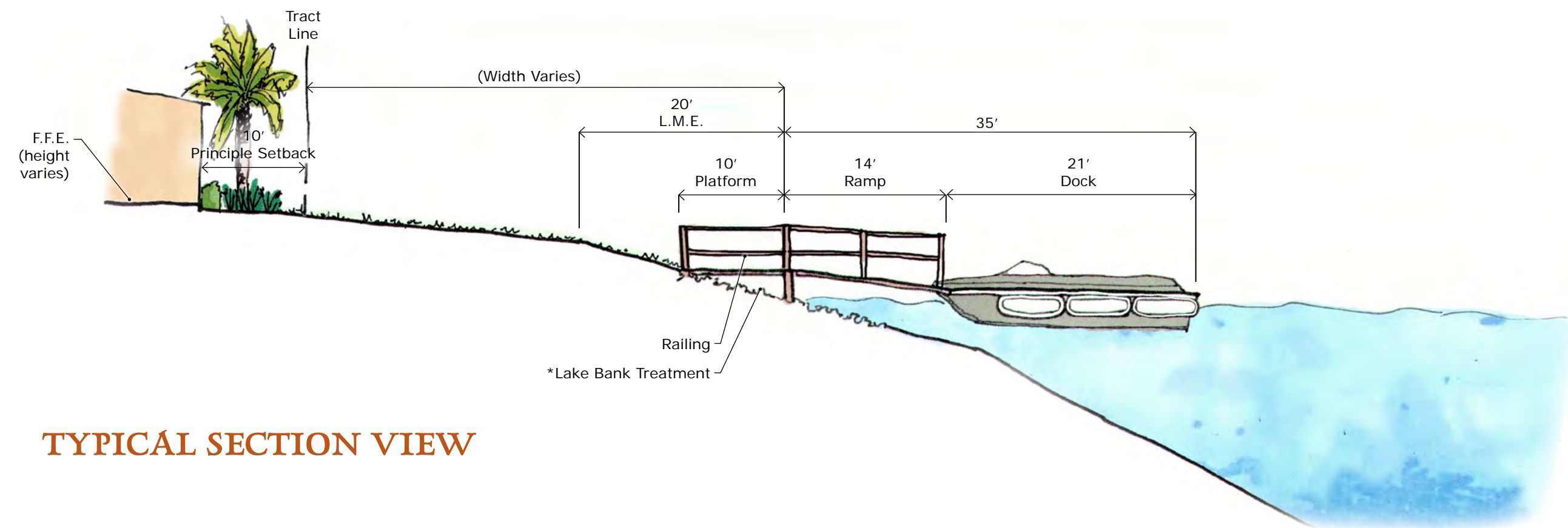




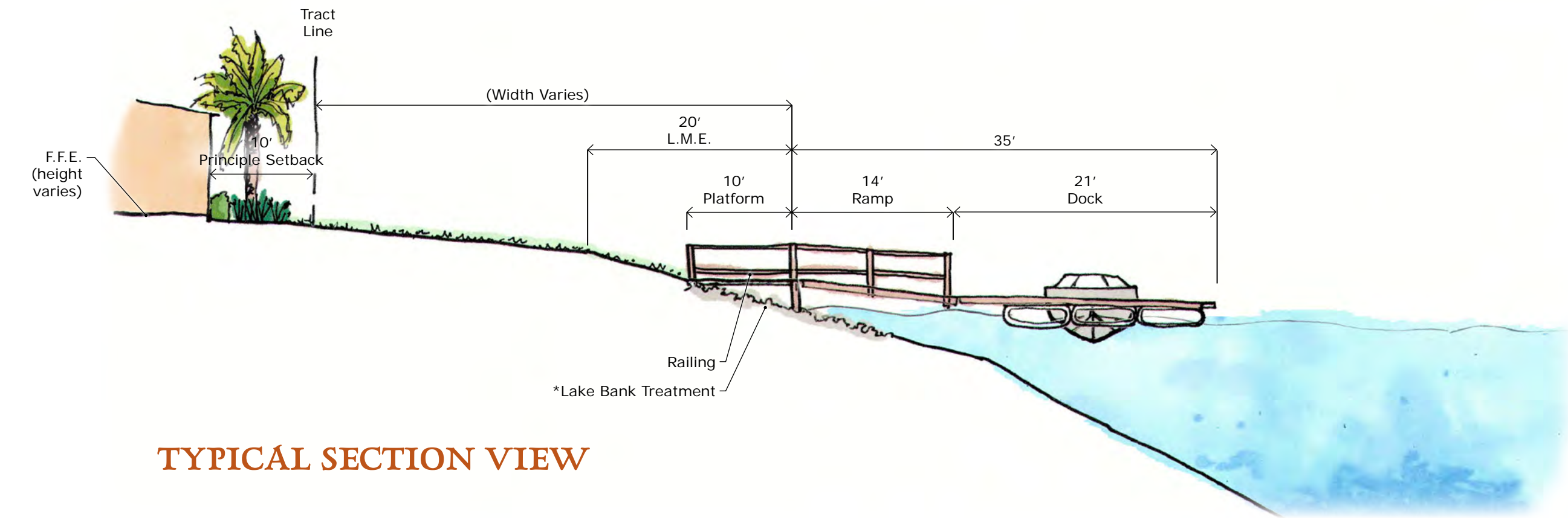
## NELSUN FLOATING LIFT



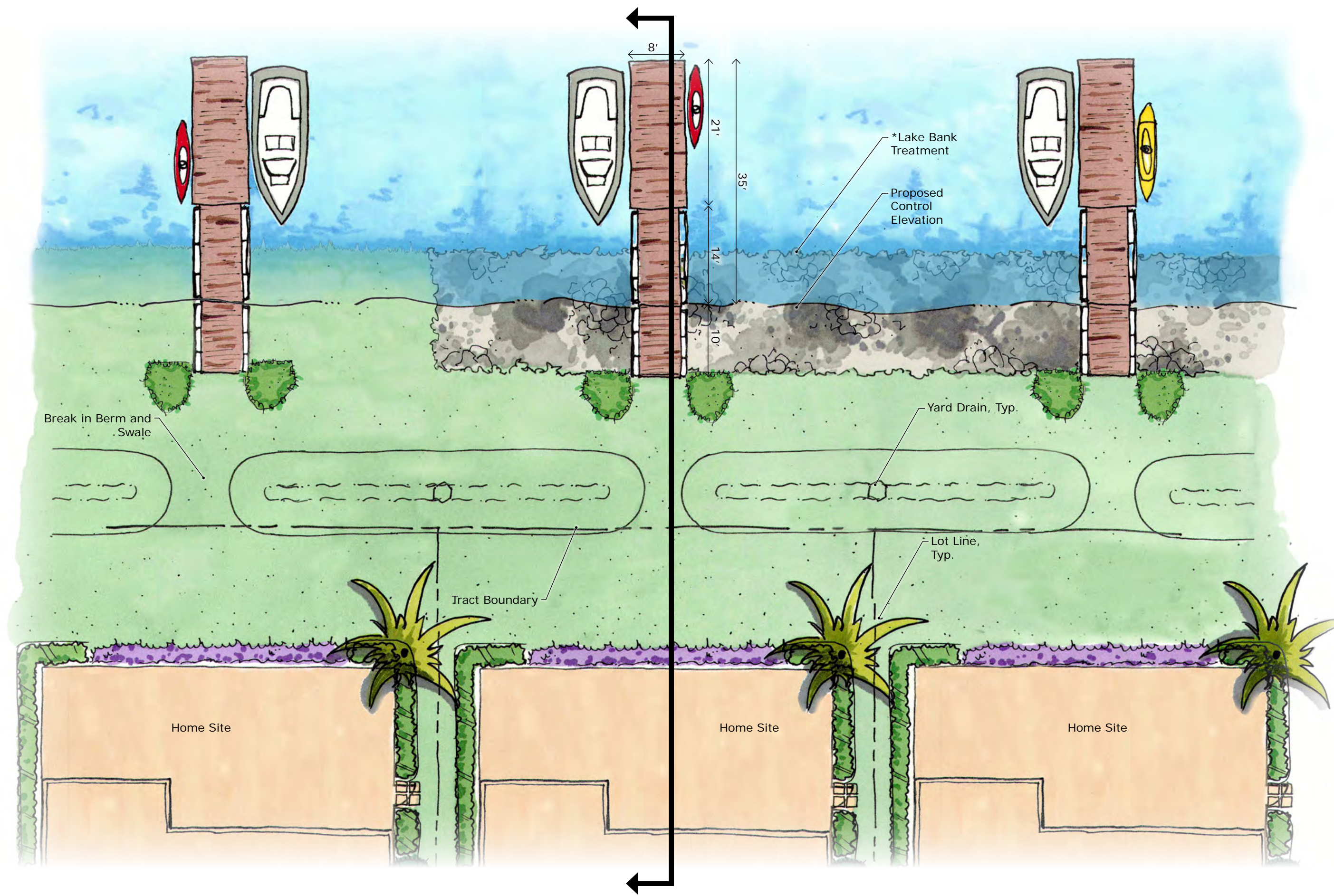




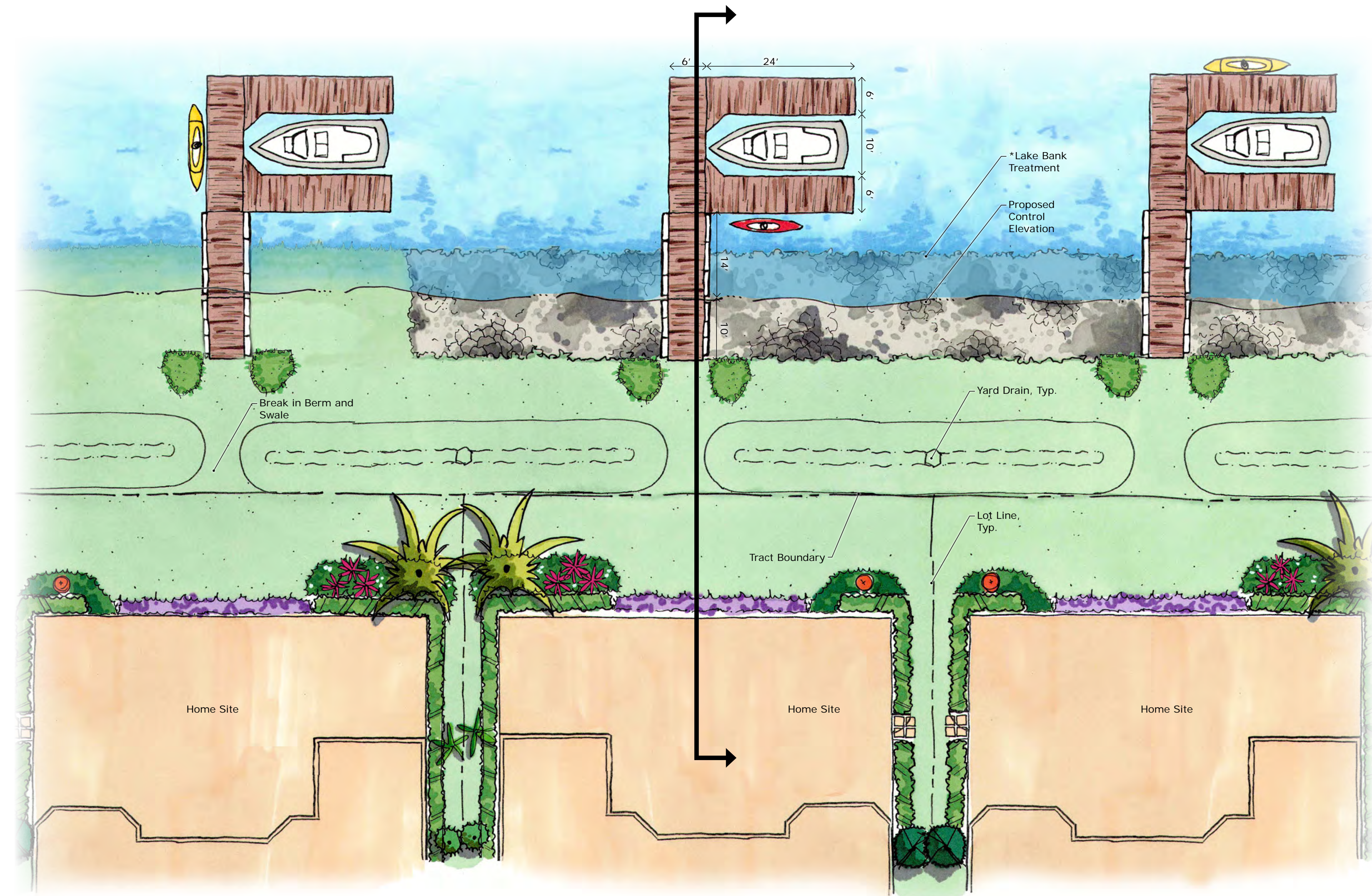
TYPICAL SECTION VIEW



TYPICAL SECTION VIEW



TYPICAL PLAN VIEW



TYPICAL PLAN VIEW

\* Rip-rap or Turf Reinforcement Mat (see Sales Product Fit Site Plans for lot specific conditions.)

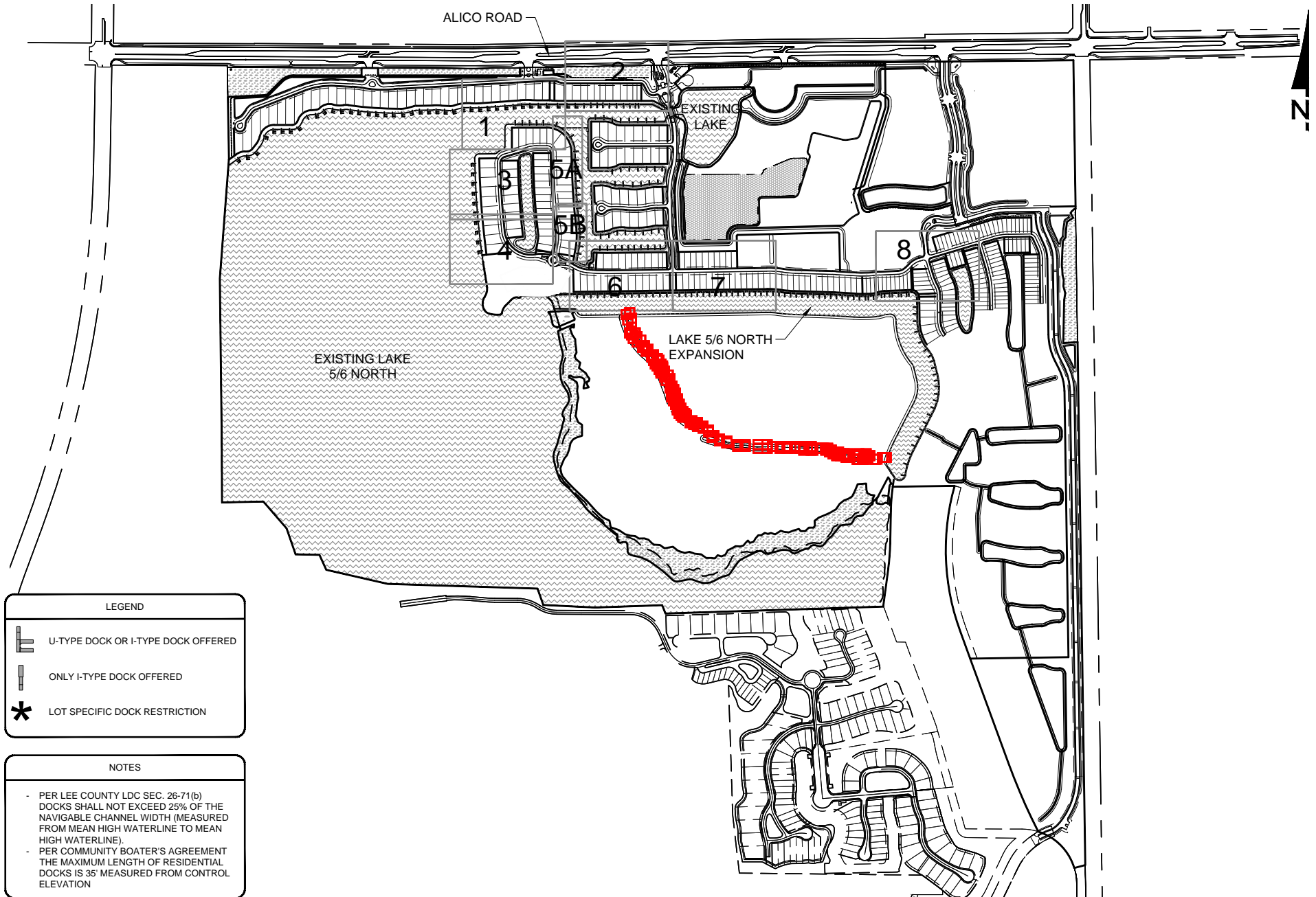
“I” DOCK EXHIBIT

\* Rip-rap or Turf Reinforcement Mat (see Sales Product Fit Site Plans for lot specific conditions.)




LIFT DOCK EXHIBIT



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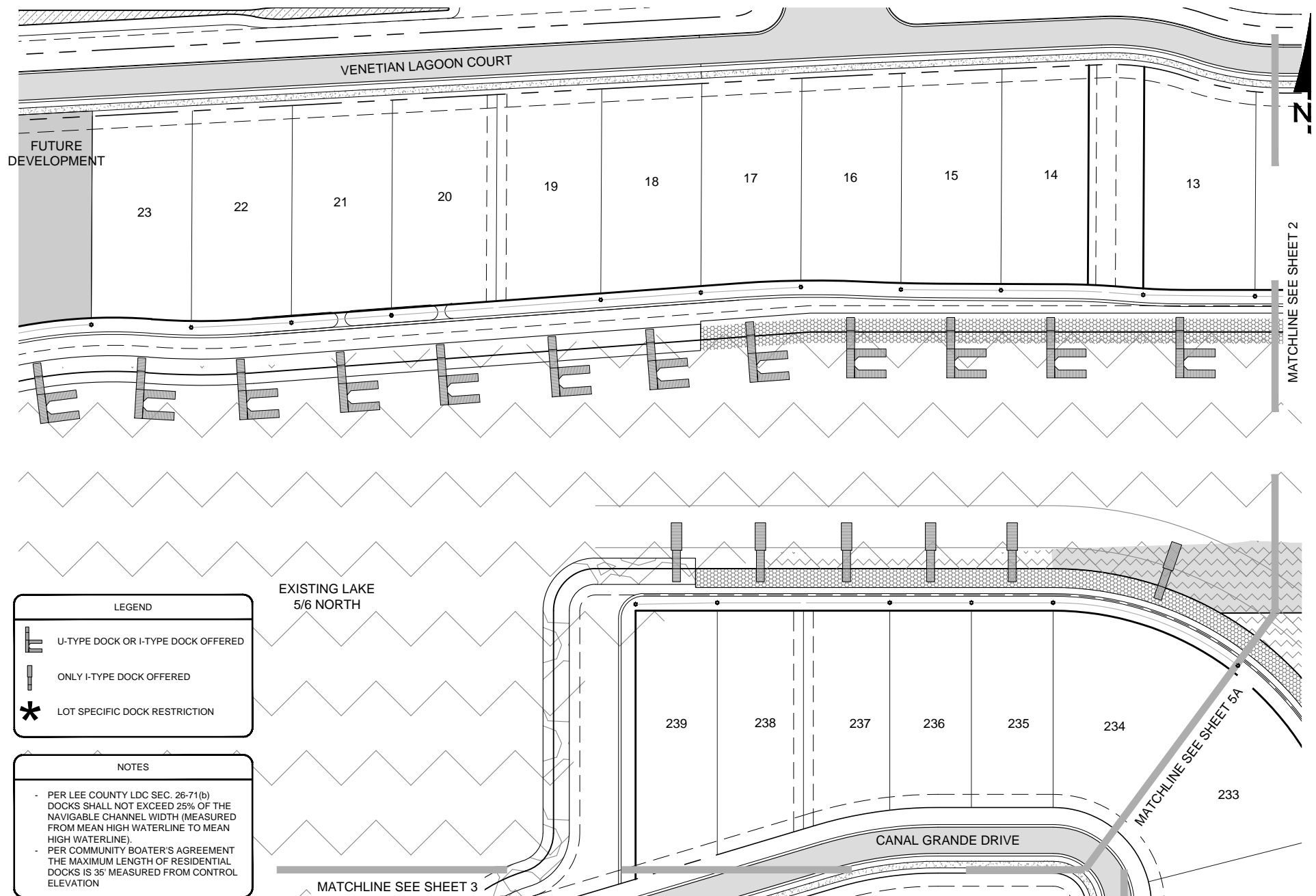
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-  U-TYPE DOCK OR I-TYPE DOCK OFFERED
-  ONLY I-TYPE DOCK OFFERED
-  LOT SPECIFIC DOCK RESTRICTION

#### NOTES




- PER LEE COUNTY LDC SEC. 26-71(b)  
DOCKS SHALL NOT EXCEED 25% OF THE  
NAVIGABLE CHANNEL WIDTH (MEASURED  
FROM MEAN HIGH WATERLINE TO MEAN  
HIGH WATERLINE).
- PER COMMUNITY BOATER'S AGREEMENT  
THE MAXIMUM LENGTH OF RESIDENTIAL  
DOCKS IS 35' MEASURED FROM CONTROL  
ELEVATION

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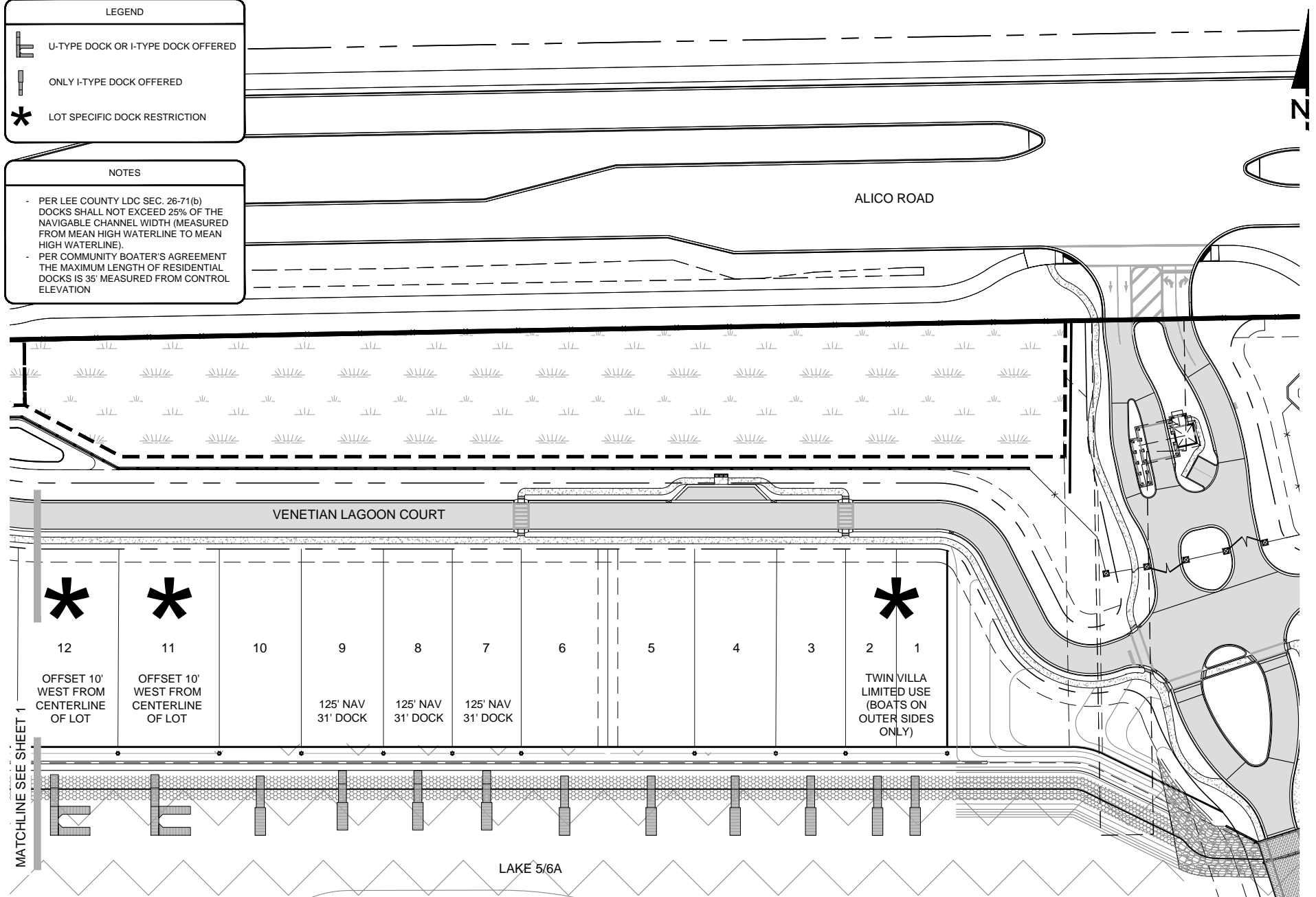
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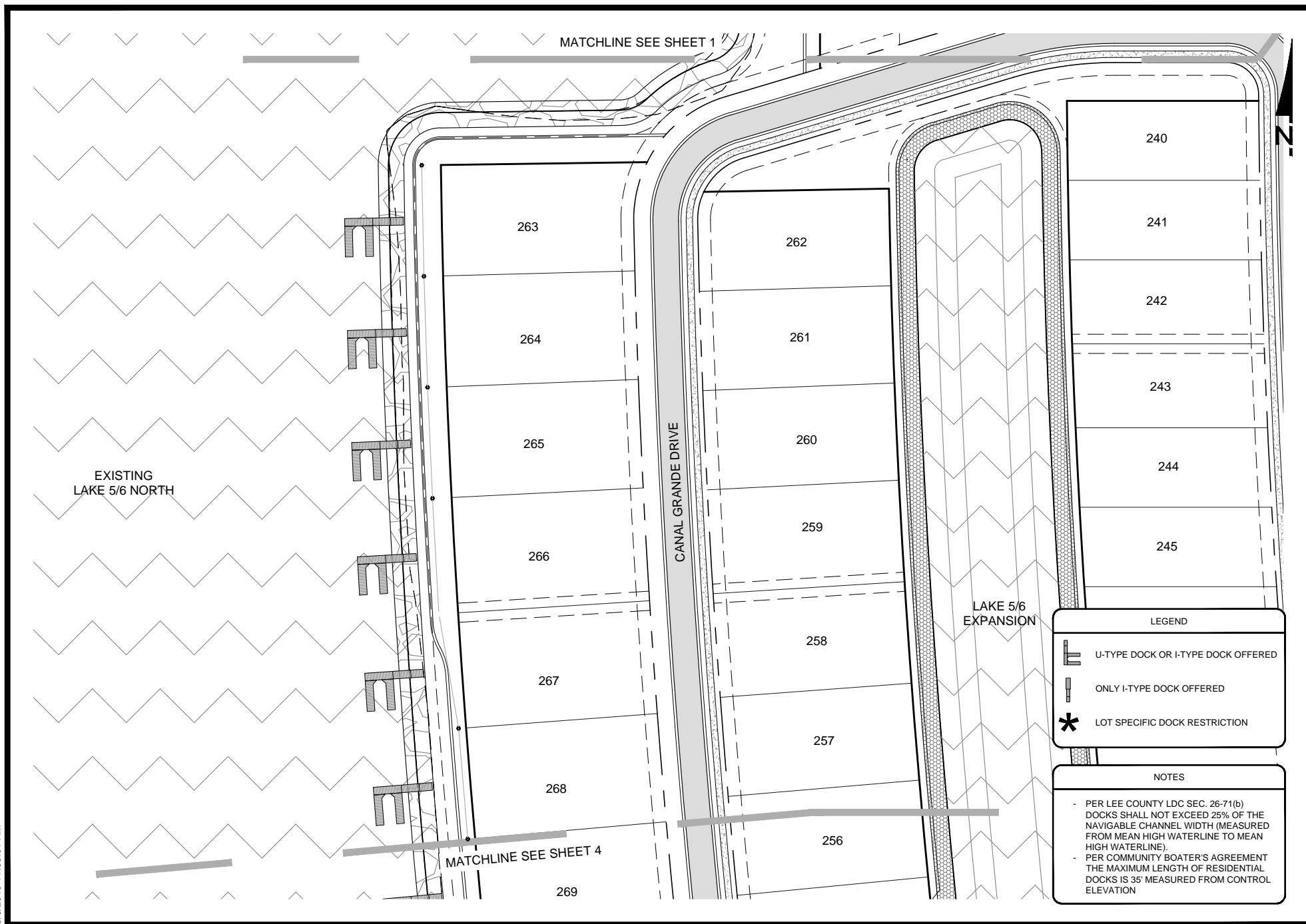
LEGEND

-  U-TYPE DOCK OR I-TYPE DOCK OFFERED
-  ONLY I-TYPE DOCK OFFERED
-  LOT SPECIFIC DOCK RESTRICTION

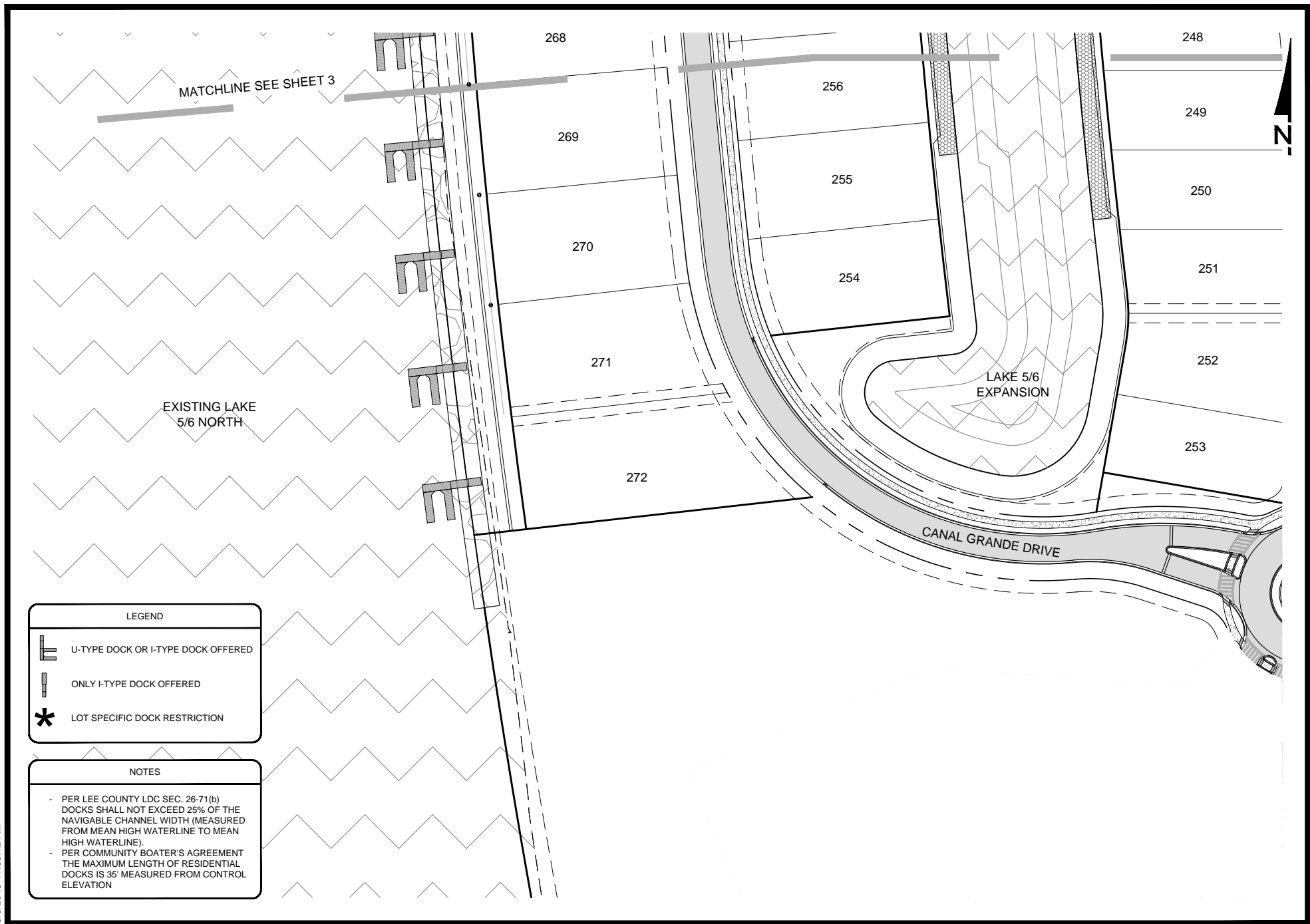
NOTES

- PER LEE COUNTY LDC SEC. 26-71(b) DOCKS SHALL NOT EXCEED 25% OF THE NAVIGABLE CHANNEL WIDTH (MEASURED FROM MEAN HIGH WATERLINE TO MEAN HIGH WATERLINE).
- PER COMMUNITY BOATER'S AGREEMENT THE MAXIMUM LENGTH OF RESIDENTIAL DOCKS IS 35' MEASURED FROM CONTROL ELEVATION



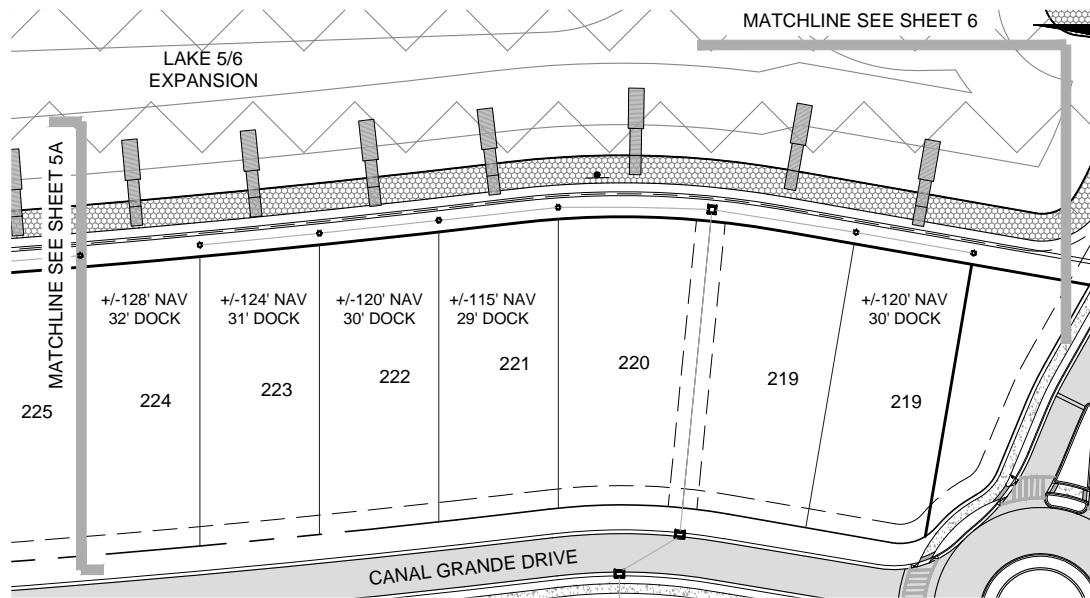


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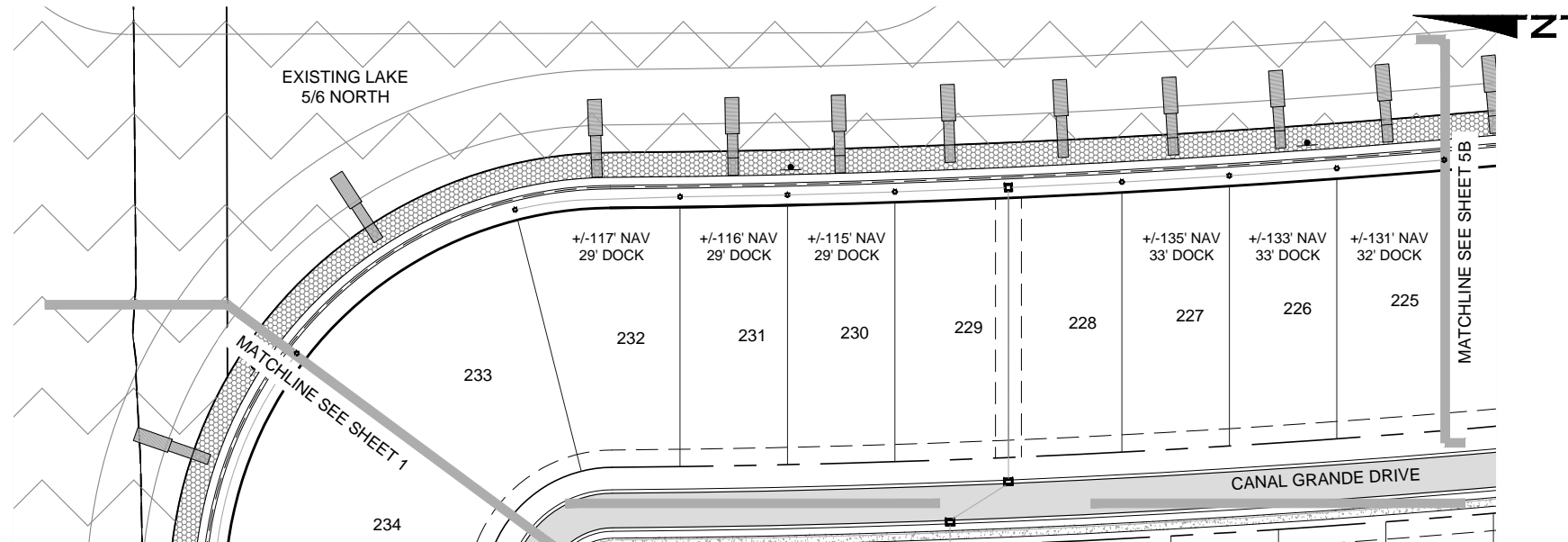
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LEGEND	
	U-TYPE DOCK OR I-TYPE DOCK OFFERED
	ONLY I-TYPE DOCK OFFERED
	LOT SPECIFIC DOCK RESTRICTION

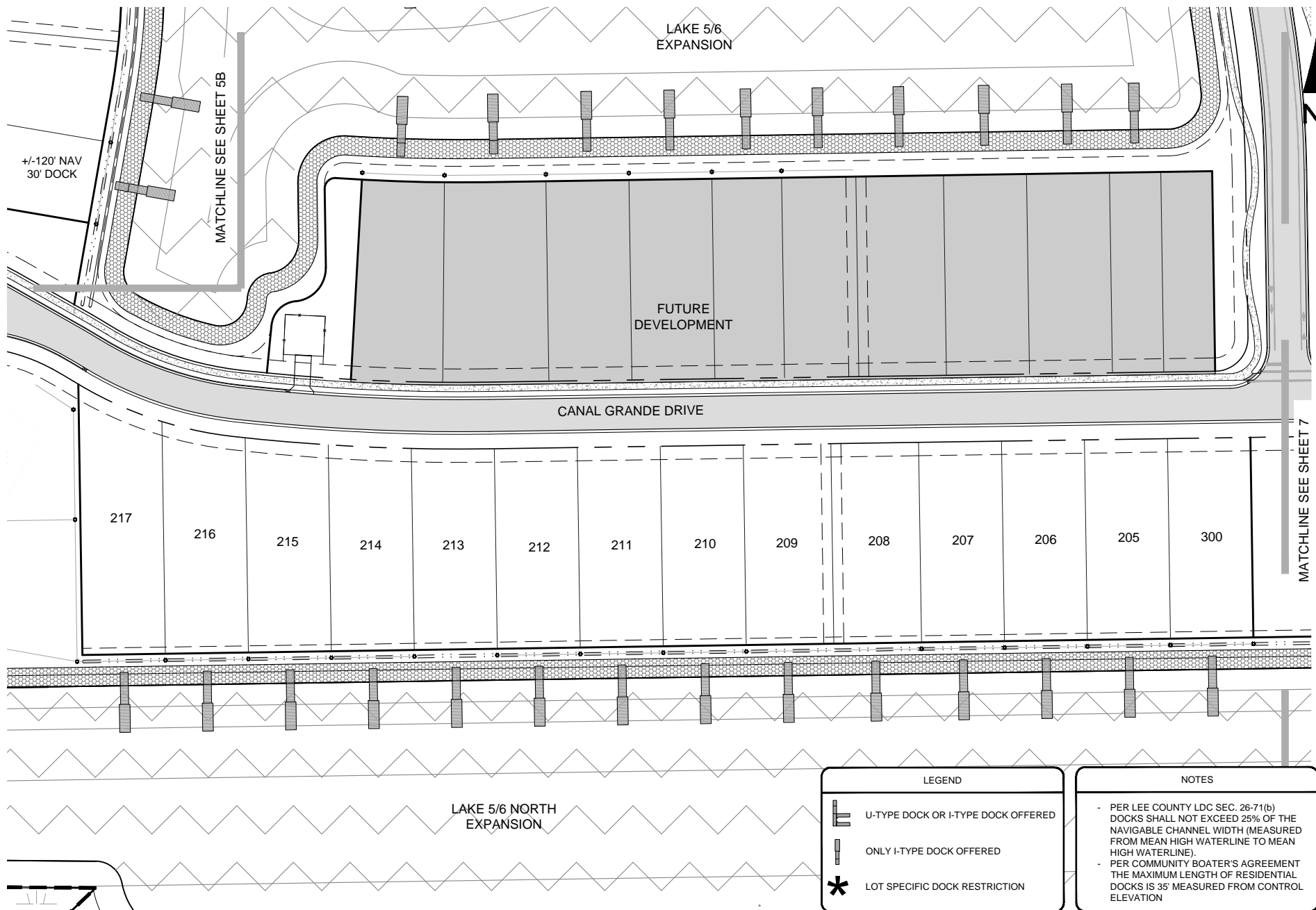
NOTES	
- PER LEE COUNTY LDC SEC. 26-71(b) DOCKS SHALL NOT EXCEED 25% OF THE NAVIGABLE CHANNEL WIDTH (MEASURED FROM MEAN HIGH WATERLINE TO MEAN HIGH WATERLINE).	
- PER COMMUNITY BOATER'S AGREEMENT THE MAXIMUM LENGTH OF RESIDENTIAL DOCKS IS 35' MEASURED FROM CONTROL ELEVATION	

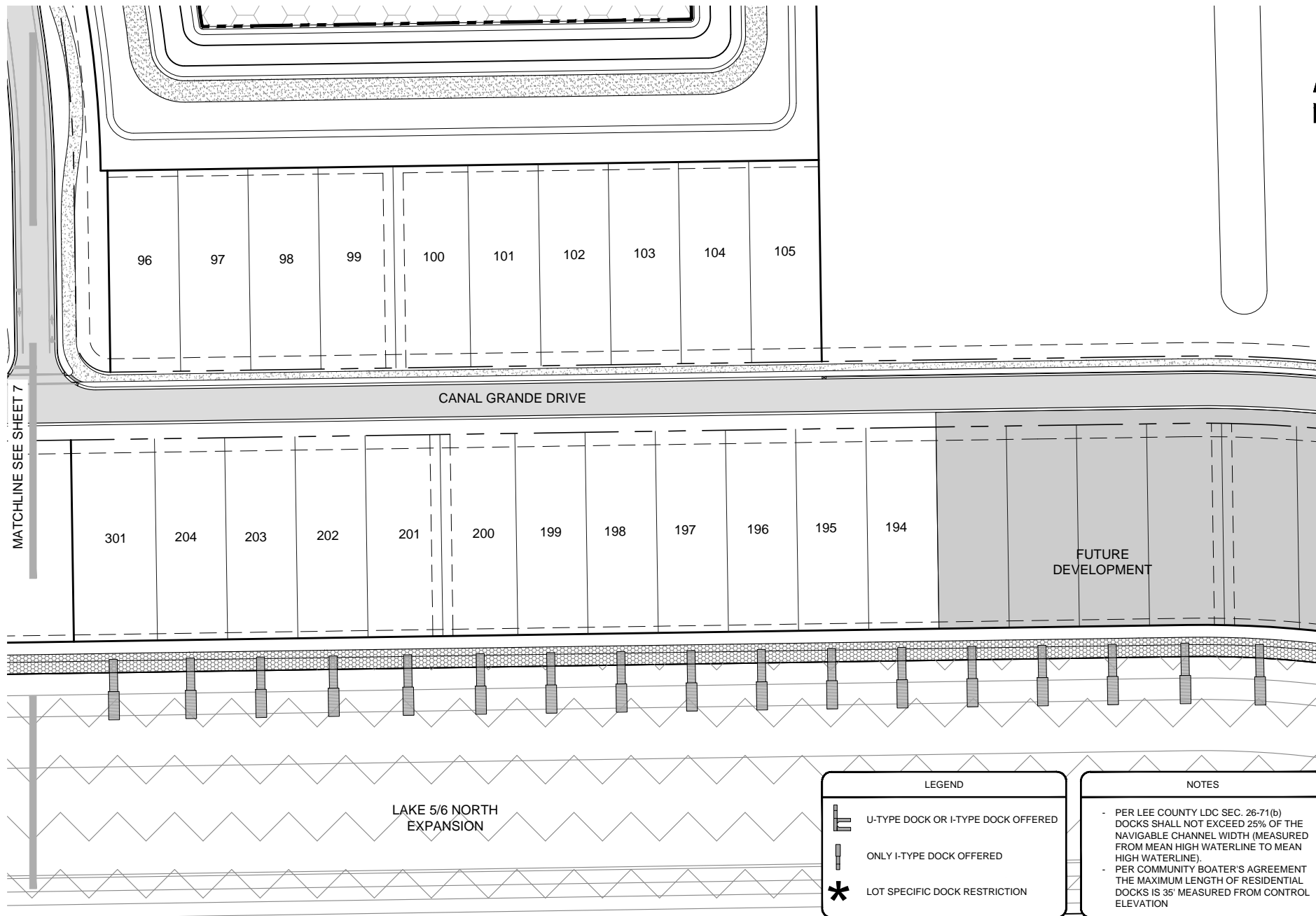
**B** LANDSCAPE PLAN  
SCALE: 1"=100'



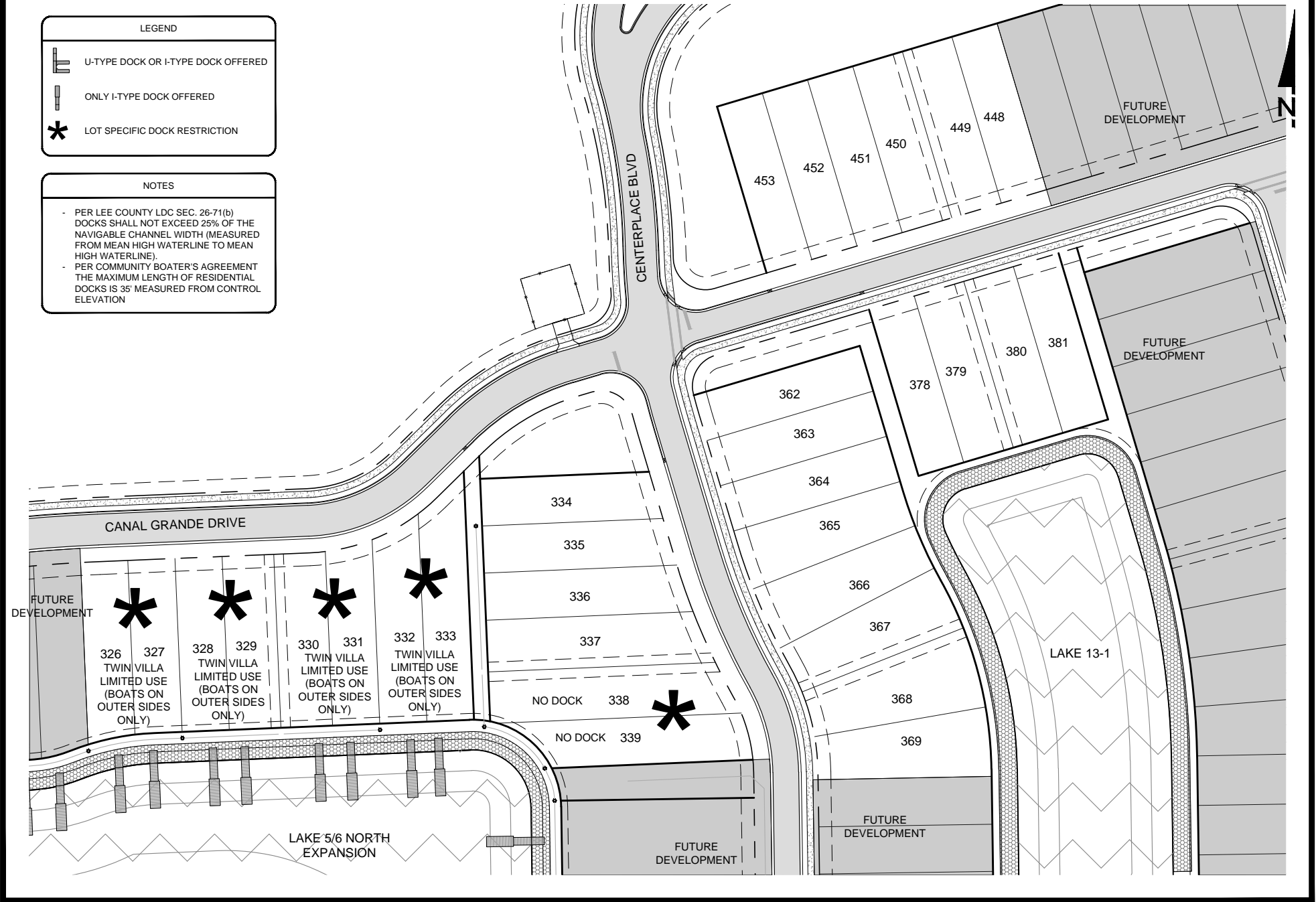
**A** LANDSCAPE PLAN  
SCALE: 1"=100'

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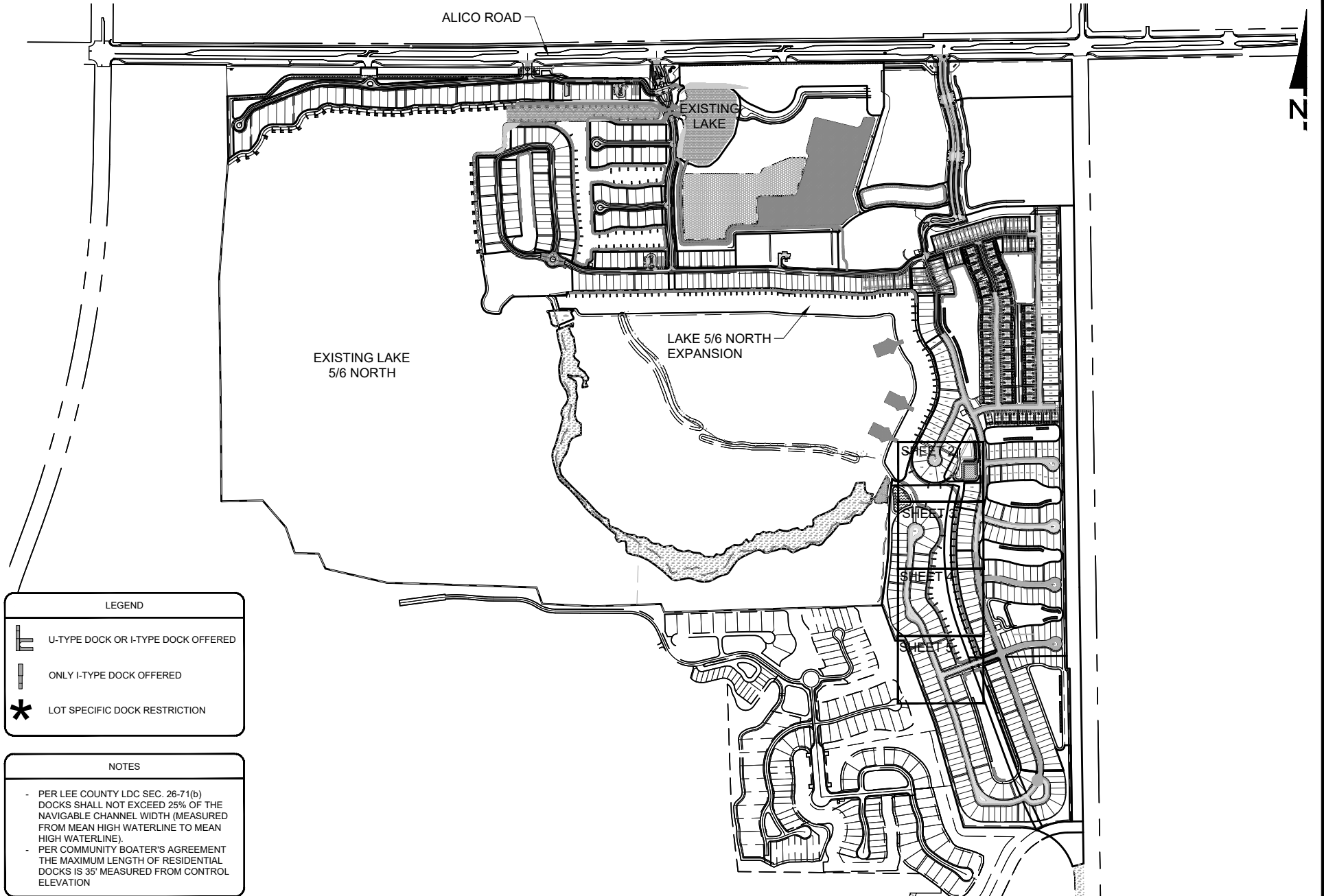




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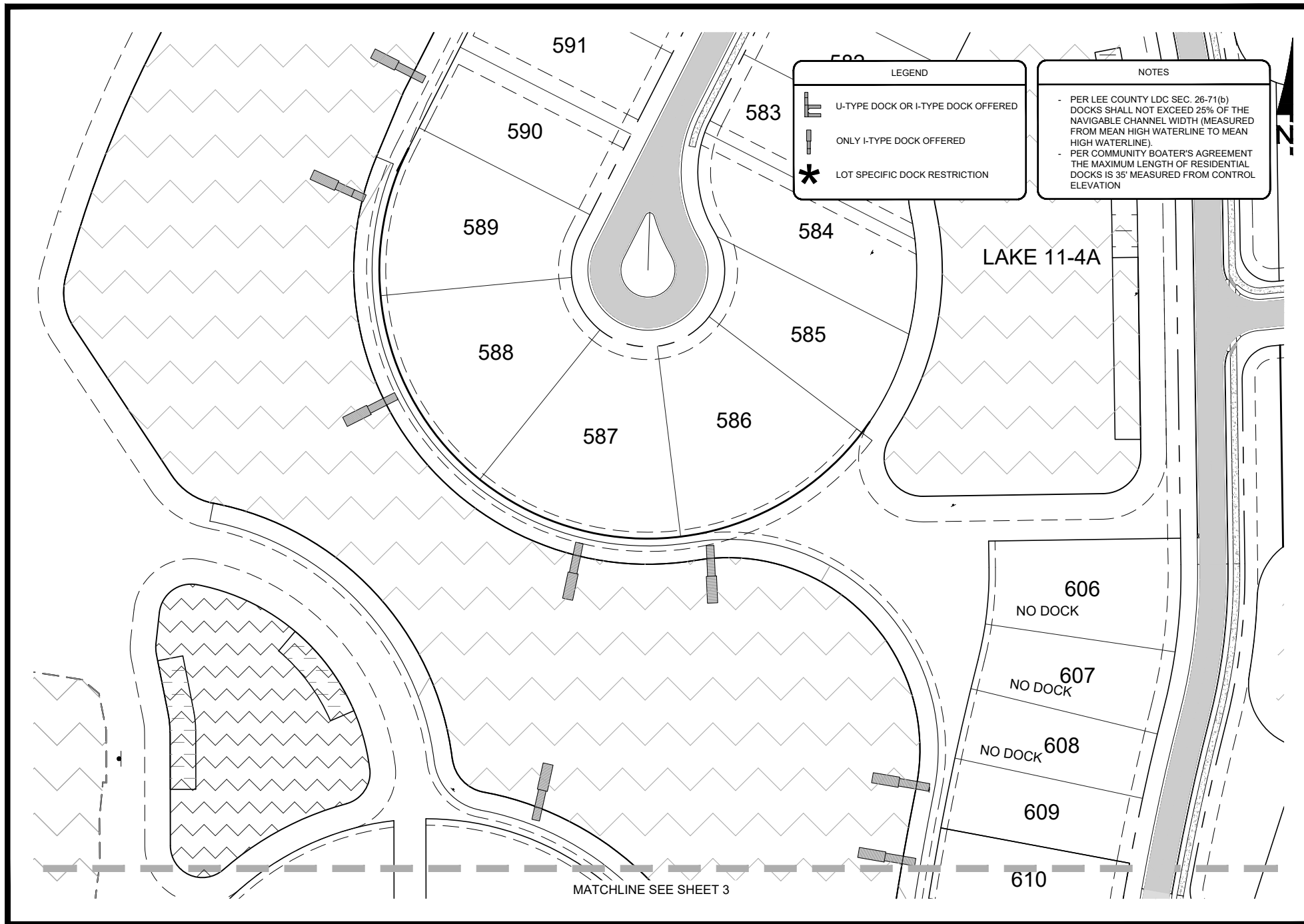
ESPLANADE LAKE CLUB

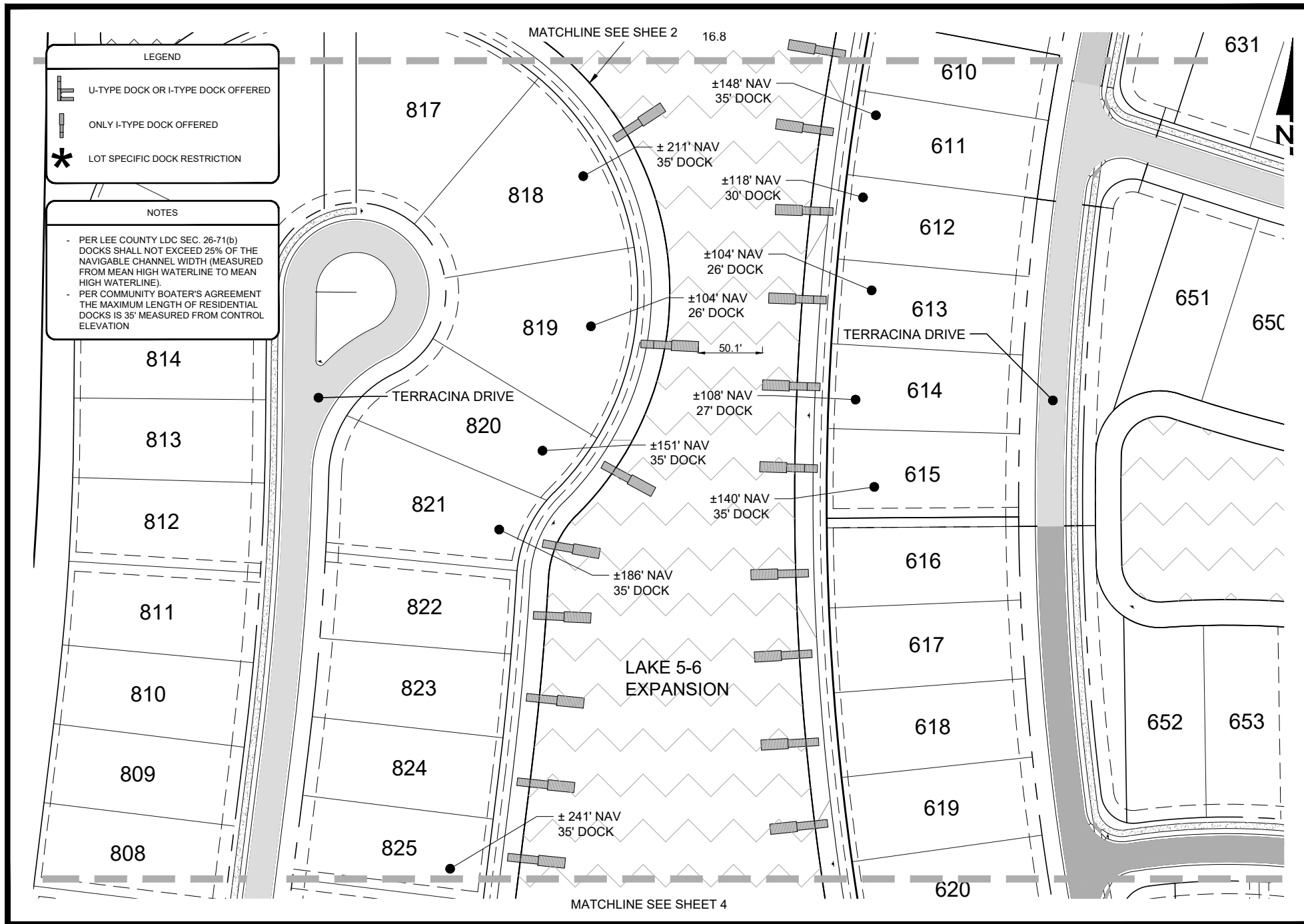
PHASE 6 DOCK EXHIBIT (SHEET 1 OF 5)



NOT TO SCALE







**LEGEND**

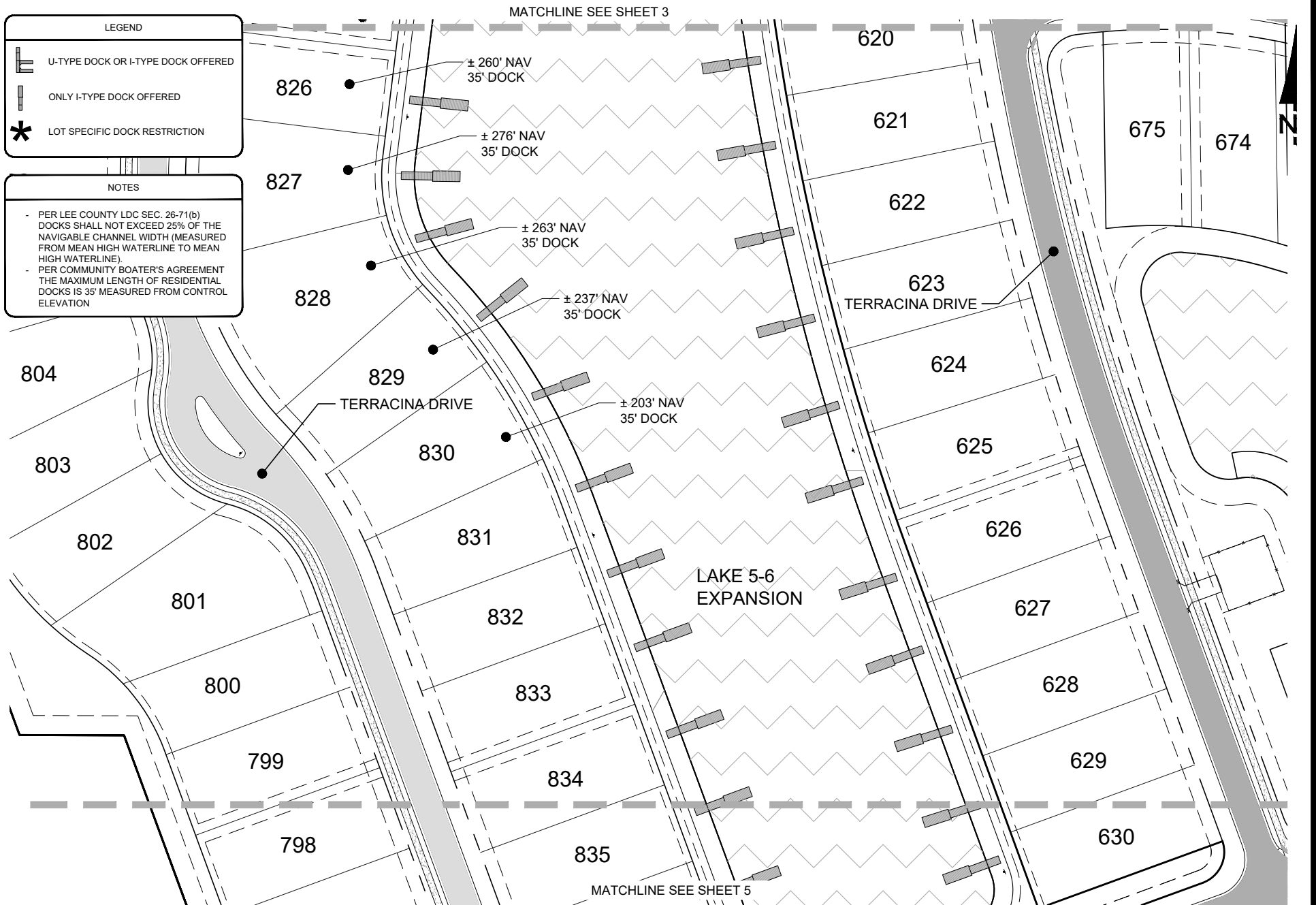
U-TYPE DOCK OR I-TYPE DOCK OFFERED

ONLY I-TYPE DOCK OFFERED

LOT SPECIFIC DOCK RESTRICTION

**NOTES**

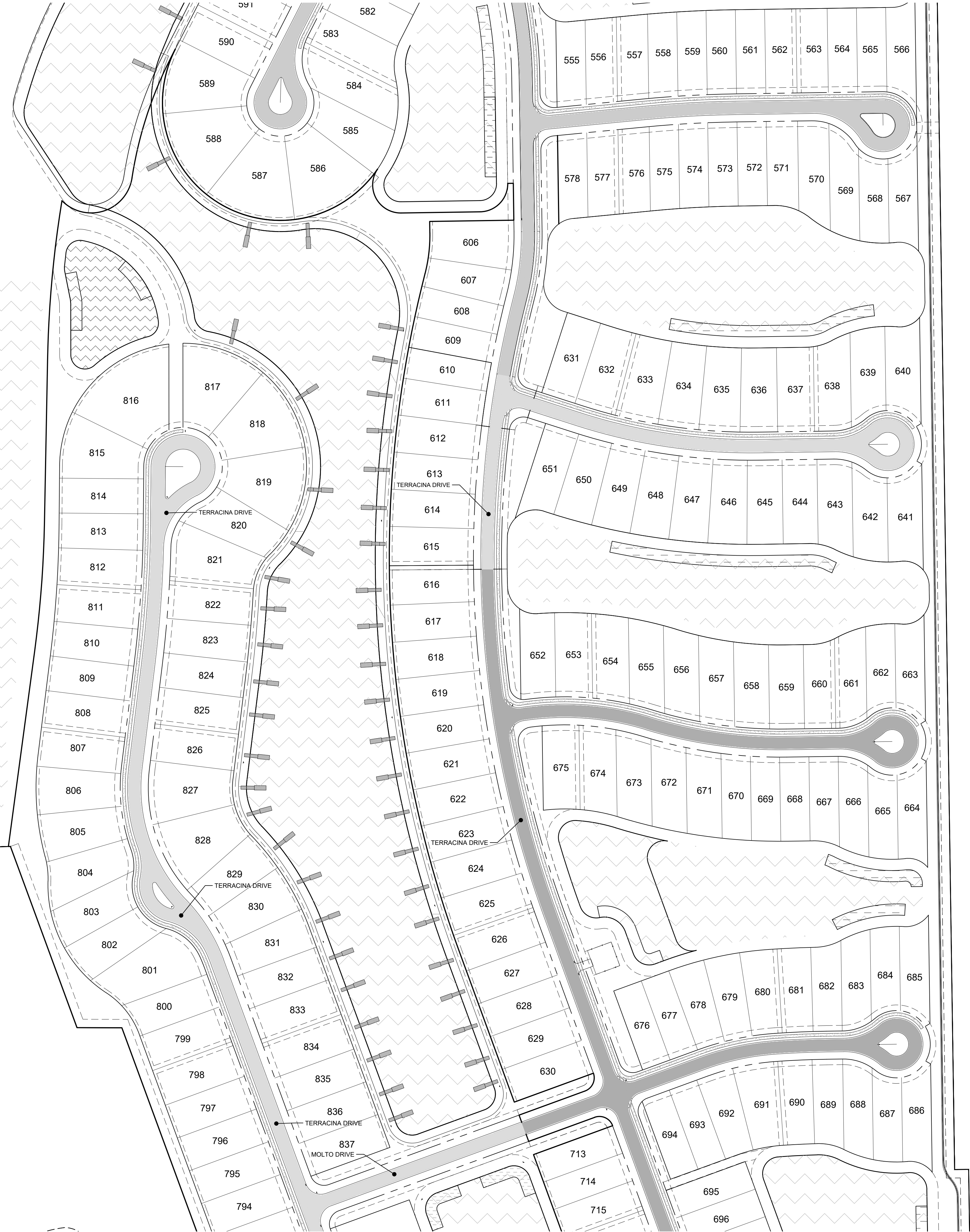
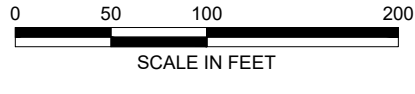
- PER LEE COUNTY LDC SEC. 26-71(b) DOCKS SHALL NOT EXCEED 25% OF THE NAVIGABLE CHANNEL WIDTH (MEASURED FROM MEAN HIGH WATERLINE TO MEAN HIGH WATERLINE).
- PER COMMUNITY BOATER'S AGREEMENT THE MAXIMUM LENGTH OF RESIDENTIAL DOCKS IS 35' MEASURED FROM CONTROL ELEVATION











LEGEND

FUTURE DEVELOPMENT

U-TYPE DOCK OR I-TYPE DOCK OFFERED

ONLY I-TYPE DOCK OFFERED

LOT SPECIFIC DOCK RESTRICTION

NOTES

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PER LEE COUNTY LDC SEC. 26-71(b) DOCKS SHALL NOT EXCEED 25% OF THE NAVIGABLE CHANNEL WIDTH (MEASURED FROM MEAN HIGH WATERLINE TO MEAN HIGH WATERLINE).

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PER COMMUNITY BOATER'S AGREEMENT THE MAXIMUM LENGTH OF RESIDENTIAL DOCKS IS 35' MEASURED FROM CONTROL ELEVATION

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